



CITY OF GRAND TERRACE
Planning Commission/Site and Architectural
Review Board
AGENDA • December 5, 2024

Council Chambers

Special Meeting

5:30 PM

Grand Terrace Civic Center • 22795 Barton Road

COMMENTS FROM THE PUBLIC

The public is encouraged to address the Planning Commission/Site & Architectural Review Board on any matter posted on the agenda or on any other matter within its jurisdiction. If you wish to address the Board, please complete a Request to Speak card located at the front entrance and provide it to the Planning Secretary. Speakers will be called upon by the Chair at the appropriate time and each person is allowed three (3) minutes speaking time.

The City wants you to know that you can also submit your comments by email to ccpubliccomment@grandterrace-ca.gov. To give the Planning Secretary adequate time to print out your comments for consideration at the meeting, please submit your written comments prior to 5:00 p.m.; or if you are unable to email, please call the Planning Secretary's Office at (909) 954-5206 by 5:00 p.m.

If you wish to have your comments read to the Planning Commission/Site & Architectural Review Board during the appropriate Public Comment period, please indicate in the Subject Line "FOR PUBLIC COMMENT" and list the item number you wish to comment on. Comments that you want read to the Planning Commission/Site & Architectural Review Board will be subject to the three (3) minute time limitation (approximately 350 words).

Pursuant to the provisions of the Brown Act, no action may be taken on a matter unless it is listed on the agenda, or unless certain emergency or special circumstances exist. The City Council may direct staff to investigate and/or schedule certain matters for consideration at a future City Council meeting.

PLEASE NOTE: Copies of staff reports and supporting documentation pertaining to each item on this agenda are available for public viewing and inspection at City Hall, 1st Floor Lobby Area and 2nd Floor Reception Area during regular business hours and on the City's website www.grandterrace-ca.gov. For further information regarding agenda items, please contact the office of the Planning Secretary at (909) 954-5206, or via e-mail at dalcocer@grandterrace-ca.gov.

Any documents provided to a majority of the Planning Commission/Site & Architectural Review Board regarding any item on this agenda will be made available for public inspection in the City Clerk's office at City Hall located at 22795 Barton Road during normal business hours. In addition, such documents will be posted on the City's website at www.grandterrace-ca.gov.

AMERICANS WITH DISABILITIES ACT

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk's Office, (909) 954-5207 at least 48 hours prior to the advertised starting time of the meeting. This will enable the City to make reasonable arrangements to ensure accessibility to this meeting. Later requests will be accommodated to the extent feasible [28 CFR 34.102.104 ADA Title II].

CALL TO ORDER

Convene the Meeting of the Planning Commission/Site and Architectural Review Board.

Pledge of Allegiance

AB 2449 Disclosures

Remote participation by a member of the legislative body for just cause or emergency circumstances.

Roll Call

APPROVAL OF AGENDA

PRESENTATIONS

A. CONSENT CALENDAR

- 1) Approval of Minutes - Regular Meeting - November 21, 2024.

RECOMMENDATION:

DEPARTMENT: City Clerk

B. ACTION ITEMS

C. PUBLIC HEARINGS

- 2) Site and Architectural Review 24-04, Conditional Use Permit 24-04, Environmental 24-06

RECOMMENDATION: It is recommended that the Planning Commission/Site and Architectural Review Board take the following actions:

1. Conduct a Public Hearing; and
2. Adopt a Resolution of the Planning Commission/Site and Architectural Review Board of the City Of Grand Terrace Approving Site and Architectural Review 24-04, Conditional Use Permit 24-04, and Environmental Review 24-06, a request by the Applicant, Equipment Share, to establish a "Heavy Equipment Rentals, Sales and Services, Outdoor" Land Use and install two 1,440 square-foot single story commercial modular units for use as offices, and site improvements for a new construction equipment rentals, sales, and repair business at 21506 Main Street, Grand Terrace, CA 92313 (APN: 1167-111-09) in the Industrial District (M2) Zone.

CEQA exempt pursuant to § Section 15332 (Class 32) In-Fill Development Projects.

DEPARTMENT: Planning & Development Services

D. INFORMATION TO COMMISSIONERS

E. INFORMATION FROM COMMISSIONERS

ADJOURN

Adjourn to the next scheduled meeting of the Planning Commission/Site & Architectural Review Board to be held on January 16, 2025, at 6:30 p.m.



CITY OF GRAND TERRACE

Planning Commission/Site and Architectural Review Board MINUTES • November 21, 2024

Council Chambers

Regular Meeting

6:30 PM

Grand Terrace Civic Center • 22795 Barton Road

CALL TO ORDER

Chair Giroux convened the Regular Meeting of the Planning Commission/Site and Architectural Review Board for Thursday, November 21, 2024, at 6:30 p.m.

Pledge of Allegiance

The Pledge of Allegiance was led by Commissioner Scot Mathis.

AB 2449 Disclosures

Commissioner Aron Burian participated remotely for just cause.

Commissioner David Alaniz motioned with a second by Chair Giroux to acknowledge the remote participation of Commissioner Aron Burian.

RESULT:	APPROVED 4 TO 0
MOVER:	Commissioner Alaniz
SECONDER:	Commission Chair Giroux
AYES:	Commission Chair Giroux, Commissioner Alaniz, Commission Vice Chair Ceseña, Commissioner Mathis
NAYS:	None

Roll Call

Present:	Commission Chair Edward Giroux Commissioner David Alaniz Commission Vice Chair Tara Ceseña Commissioner Scot Mathis Commissioner Aron Burian
Absent:	Assistant City Attorney Jamie Traxler

APPROVAL OF AGENDA

Vice-Chair Tara Ceseña motioned to have Public Hearing Item C.3 be presented before Public Hearing Item C.2

RESULT:	APPROVED - UNANIMOUS
MOVER:	Commission Vice Chair Ceseña
SECONDER:	Commissioner Mathis
AYES:	Commission Chair Giroux, Commissioner Alaniz, Commission Vice Chair Ceseña, Commissioner Mathis, Commissioner Burian
NAYS:	None

PRESENTATIONS

None.

PUBLIC ADDRESS

None.

A. CONSENT CALENDAR

RESULT:	ACCEPTED - 5 TO 0
MOVER:	Commissioner Burian
SECONDER:	Commissioner Alaniz
AYES:	Commission Chair Giroux, Commissioner Alaniz, Commission Vice Chair Ceseña, Commissioner Mathis, Commissioner Burian
NAYS:	None

- 1) Approval of Minutes - Regular Meeting - July 18, 2024.
Approval of Minutes - Regular Meeting - October 17, 2024.

B. ACTION ITEMS

None.

C. PUBLIC HEARINGS

- 2) Amendment No. 1 to Site and Architectural Review 23-23: A public art project that includes a 10-foot-tall steel donkey sculpture, and a smaller 6-foot-tall steel donkey sculpture located at the corner of Mt. Vernon Avenue.

Gabriel Arguelles, Assistant Planner, presented the staff report and [PowerPoint](#) presentation for this item.

Chair Giroux opened the Public Hearing at 6:50 p.m.

David Lang, Architect with Lampert Dias Architects addressed the Commission's questions and comments.

Chair Giroux closed the Public Hearing at 6:58 p.m.

ADOPT A RESOLUTION OF THE PLANNING COMMISSION/SITE AND ARCHITECTURAL REVIEW BOARD APPROVING AMENDMENT NO. 1 TO SITE AND ARCHITECTURAL REVIEW 23-23 AND ENVIRONMENTAL REVIEW 24-04 FOR A PUBLIC ART INSTALLATION PROPOSED BY FIRESTATION PROPERTIES, LLC, REPRESENTED BY DAVID LANG. THE PROPOSAL INCLUDES THE INSTALLATION OF A 10-FOOT-TALL STEEL DONKEY SCULPTURE AND A 6-FOOT-TALL STEEL DONKEY SCULPTURE AT 12167 MT. VERNON AVENUE, LOCATED AT THE CORNER OF MT. VERNON AVENUE AND CITY CENTER. THE PROJECT SITE IS WITHIN THE BARTON ROAD SPECIFIC PLAN (BRSP), VILLAGE COMMERCIAL (VC) PLANNING AREA 2 (P.A.2.).

Vice-Chair Ceseña motioned with a second by Commissioner Mathis to approve the item with the additional recommendations made by the Commission.

RESULT:	APPROVED - UNANIMOUS
MOVER:	Commission Vice Chair Ceseña
SECONDER:	Commissioner Mathis
AYES:	Commission Chair Giroux, Commissioner Alaniz, Commission Vice Chair Ceseña, Commissioner Mathis, Commissioner Burian
NAYS:	None

- 3) Review and Consideration of Zoning Code Amendment (ZCA) 24-04, a Proposal to Amend the Grand Terrace Municipal Code Chapter 5.06 (Home Occupation Permits) Sections 5.06.050 and 5.06.060, Chapter 5.40 (Garage Sales) Section 5.40.050, Chapter 5.42 (Integrated Waste Management) Section 5.42.160, Chapter 5.48 (Massage Parlors and Massage Technicians) Section 5.48.110, Chapter 8.108 (Noise) Sections 8.108.040 and 8.108.050, Chapter 8.112 (Fireworks) Section 8.112.010, Chapter 9.05 (Vending on City Sidewalks) Section 9.05.020, Chapter 10.16 (Storage of Vehicles – Intersection Obstruction) Section 10.16.021, Chapter 12.32 (Conduct on Public

Property – Parks) Section 12.32.140, Chapter 12.56 (Wireless Telecommunications Facilities in the Public Right-Of-Way) Section 12.56.070, Chapter 15.56 (Water Efficient Landscape) Section 15.56.130, Chapter 18.10 (Residential Districts) Section 18.10.040, Chapter 18.64 (Objective Design Standards) Section 18.64.040, Chapter 18.80 (Signs) Section 18.80.050 and 18.80.130, Chapter 18.82 (Standards for Specified Land Uses and Activities) Section 18.82.010, to streamline the Municipal Code and ensure internal consistency.

Scott Hutter, Planning & Development Services Director, presented the staff report and [PowerPoint](#) presentation for this item.

Chair Giroux opened the public hearing at 8:37 p.m.

PUBLIC COMMENT

Bobbie Forbes, Grand Terrace Resident, has concerns regarding some of the potential changes to the Zoning Amendment.

Chair Giroux closed the public hearing item at 8:42 p.m.

ADOPT A RESOLUTION OF THE PLANNING COMMISSION/SITE AND ARCHITECTURAL REVIEW BOARD OF THE CITY OF GRAND TERRACE RECOMMENDING THAT THE CITY COUNCIL ADOPT AN ORDINANCE APPROVING ZCA 24-04 TO AMEND GRAND TERRACE MUNICIPAL CODE CHAPTER 5.06 (HOME OCCUPATION PERMITS) SECTIONS 5.06.050 AND 5.06.060, CHAPTER 5.40 (GARAGE SALES) SECTION 5.40.050, CHAPTER 5.42 (INTEGRATED WASTE MANAGEMENT) SECTION 5.42.160, CHAPTER 5.48 (MASSAGE PARLORS AND MASSAGE TECHNICIANS) SECTION 5.48.110, CHAPTER 8.108 (NOISE) SECTIONS 8.108.040 AND 8.108.050, CHAPTER 8.112 (FIREWORKS) SECTION 8.112.010, CHAPTER 9.05 (VENDING ON CITY SIDEWALKS) SECTION 9.05.020, CHAPTER 10.16 (STORAGE OF VEHICLES – INTERSECTION OBSTRUCTION) SECTION 10.16.021, CHAPTER 12.32 (CONDUCT ON PUBLIC PROPERTY – PARKS) SECTION 12.32.140, CHAPTER 12.56 (WIRELESS TELECOMMUNICATIONS FACILITIES IN THE PUBLIC RIGHT-OF-WAY) SECTION 12.56.070, CHAPTER 15.56 (WATER EFFICIENT LANDSCAPE) SECTION 15.56.130, CHAPTER 18.10 (RESIDENTIAL DISTRICTS) SECTION 18.10.040, CHAPTER 18.64 (OBJECTIVE DESIGN STANDARDS) SECTION 18.64.040, CHAPTER 18.80 (SIGNS) SECTION 18.80.050 AND 18.80.130, CHAPTER 18.82 (STANDARDS FOR SPECIFIED LAND USES AND ACTIVITIES) SECTION 18.82.010, TO STREAMLINE THE MUNICIPAL CODE AND ENSURE INTERNAL CONSISTENCY (ZONING CODE AMENDMENT 24-04) AND FIND AN ENVIRONMENTAL EXEMPTION PURSUANT TO SECTION 15061(B)(3) OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) GUIDELINES. CEQA EXEMPT PURSUANT TO SECTION §15061(B)(3) – *COMMON SENSE EXEMPTION*.

Commissioner Alaniz motioned with a second by Commissioner Mathis to continue the Public Hearing Item to a date certain of January 16, 2025.

RESULT:	APPROVED - UNANIMOUS
MOVER:	Commissioner Alaniz
SECONDER:	Commissioner Mathis
AYES:	Commission Chair Giroux, Commissioner Alaniz, Commission Vice Chair Ceseña, Commissioner Mathis, Commissioner Burian
NAYS:	None

D. INFORMATION TO COMMISSIONERS

Scott Hutter, Planning & Development Services Director, informed the Commissioners about upcoming Planning Commission meetings set for December 5, 2024, and December 19, 2024.

E. INFORMATION FROM COMMISSIONERS

Vice-Chair Ceseña informed staff that the vegetation at Starbucks on Barton Road is not crawling up the wall like it is supposed to.

Chair Giroux and the Commissioners would like to move forward with a public hearing regarding fireworks with the approval by the city council.

ADJOURN

Chair Giroux adjourned the regular meeting of the Planning Commission/Site and Architectural Review Board at 8:58 p.m. The next scheduled meeting of the Planning Commission/Site and Architectural Review Board is to be held on Thursday, January 16, 2025, at 6:30 p.m.

Edward Giroux, Chairman

Debra L. Thomas, City Clerk



AGENDA REPORT

MEETING DATE: December 5, 2024

TO: PLANNING COMMISSION/SITE AND ARCHITECTURAL REVIEW BOARD

PRESENTED BY: Scott Hutter, Planning and Development Services Director

TITLE: Review and Consideration of Site and Architectural Review 24-04, Conditional Use Permit 24-04, and Environmental Review 24-06, A Request By The Applicant, Equipment Share, To Establish A "Heavy Equipment Rentals, Sales and Services, Outdoor" Land Use And Install Two 1,440 Square-Foot Single Story Commercial Modular Units For Use As Offices, And Site Improvements For A New Construction Equipment Rentals, Sales, And Repair Business At 21506 Main Street, Grand Terrace, CA 92313 (APN: 1167-111-09) In The Industrial District (M2) Zone.

California Environmental Quality Act (CEQA) Exempt Pursuant To Section §15332 Class 32 [In-Fill Development Projects]

RECOMMENDATION:

It is recommended that the Planning Commission/Site and Architectural Review Board take the following actions:

- 1) Conduct a Public Hearing; and
- 2) Adopt a Resolution of the Planning Commission/Site and Architectural Review Board of the City Of Grand Terrace Approving Site and Architectural Review 24-04, Conditional Use Permit 24-04, and Environmental Review 24-06, a request by the Applicant, Equipment Share, to establish a "Heavy Equipment Rentals, Sales and Services, Outdoor" Land Use and install two 1,440 square-foot single story commercial modular units for use as offices, and site improvements for a new construction equipment rentals, sales, and repair business at 21506 Main Street, Grand Terrace, CA 92313 (APN: 1167-111-09) in the Industrial District (M2) Zone.

CEQA exempt pursuant to § Section 15332 (Class 32) In-Fill Development Projects.

2030 VISION STATEMENT:

This item supports Goal 3 to Promote Economic Development and Goal 2.3 to Provide a wide range of retail and service commercial opportunities designated to meet the needs of the City's residents, businesses, and visitors while also providing employment opportunities.

SUMMARY:

The applicant, Equipment Share, represented by Craig Yocum of Lee & Associates, has

submitted an application for Site and Architectural Review 24-04, Conditional Use Permit 24-04, and Environmental Review 24-06 for the development of two 1,440-square-foot, single-story modular commercial units using prefabricated construction. Equipment Share is classified as “Heavy Equipment Rental, Sales, and Service, Outdoor” and will include general office functions, equipment rentals and sales, minor repairs, and a storage yard. The site is located at 21506 Main Street, Grand Terrace, CA 92313 (APN: 1167-111-09), and is owned by Main Street Recycling LLC. The property is accessed via a private road running along the City of Riverside canal to the west and the Atchison Topeka and Santa Fe Railroad line to the east. The property is zoned M2 – Industrial and designated for industrial use.

Municipal Code Section §18.63.010 of the Grand Terrace Municipal Code states that a Site and Architectural Review application provides a process for reviewing all major new construction projects, and the process calls for the review of the design of the development, an identification of potential impacts on the surrounding properties, and an assurance that the proposed Project complies with the provisions of the Zoning Code and General Plan. Municipal Code Section §18.66.010 of the Grand Terrace Municipal Code states that a Site and Architectural Review application provides a process for reviewing “commercial modular units” in the Industrial District (M2) Zone. The Applicant has requested the installation of two (2) commercial modular units which triggers a Site and Architectural Review. Municipal Code Section §18.27.010 Nonresidential Land Use Regulations Table of the Grand Terrace Municipal Code identifies “Heavy equipment rentals, sales and services, outdoor” land use as being subject to a Conditional Use Permit in the Industrial District (M2) Zone.

The Planning Commission/Site and Architectural Review Board is responsible for reviewing and approving all Site and Architectural Reviews and Conditional Use Permits within the City of Grand Terrace which is why the Applicant’s proposal is before the Commission.

BACKGROUND:

The project site features two existing warehouse buildings, measuring 4,665 square feet and 5,710 square feet, which have been used for various industrial purposes over the years. Initially owned by Harris Transport, the property functioned as a contractor yard, with one warehouse for equipment and tool storage and the other for fire truck testing and repair. The site was later leased to Scotts Turf for fertilizer storage and, more recently, to Empire Pallet Solutions Inc., a pallet recycling company. The lease with Empire Pallet expired prior to the submission of this project. Located along W Main Street, the property is bordered to the west by a private access road along the City of Riverside canal and to the east by the Atchison, Topeka, and Santa Fe Railroad line. The site is flat, free of cultural or historical features, and not considered scenic. The proposed project seeks to repurpose the existing warehouse buildings for the storage and minor repair of construction-related equipment. This equipment includes aerial work platforms, landscaping and agricultural machinery, earthmoving equipment, power tools, portable generators, forklifts, safety equipment, and welding tools. In addition to utilizing the existing warehouses, the development plan includes the installation of two 1,440-square-foot commercial modular units as office space to support leasing and sales operations.

ANALYSIS:

Site Plan: The project site is accessed via an existing private road that connects to Main Street, which forms the southern boundary of the site, adjacent to the Main Street Recycling LLC property. The access road forks, with one branch leading into the project site and the other continuing northeast along the City of Riverside Canal, located on the site’s western boundary.

An internal driveway loops through the site, reconnecting to the private access road. The site contains two existing warehouse buildings, which will be used for the storage and minor repair of equipment that will be leased and sold on-site. Additionally, two commercial modular units, each 1,440 square feet and single-story, are proposed for installation along the western side of the site, parallel to the access road. These modular units will be constructed using prefabricated techniques and will serve as office and administrative spaces. The modular units will comply with Chapter 18.66 of the City's Municipal Code, which regulates "Manufactured Homes and Commercial Units." Specifically, the units must meet three criteria: they must conform to the M2 – Industrial District requirements, be no older than 10 years, and be installed on a permanent foundation. In terms of architectural design, the roof and exterior surfaces will adhere to the requirements outlined in Chapter 18.66 of the City's Municipal Code. This ensures that the project will blend aesthetically with the surrounding area while meeting all necessary city requirements. A detailed site layout is provided in "**EXHIBIT E**" of *Attachment 1*.

Site improvements will also include refreshing the parking lot and landscape areas, new security fencing with grasstik screening. Grasstik is an artificial turf like material that mounts to the fencing so as to aid in screening what's on the other side with a more natural less industrial appearance.

Parking and Circulation: The proposed project includes a total of 41 vehicle parking spaces. The City's Municipal Code requires parking based on the use and square footage of the space: one parking space for every 200 square feet of office space, and one per 400 square feet for motor vehicle sales and repair uses. For the 2,880 square feet of office space, the calculation requires 1 parking space per 200 square feet, resulting in 14.4 stalls, which rounds up to 15 stalls. For the 10,375 square feet of warehouse space, the calculation requires 1 parking space per 400 square feet, resulting in 25.93 stalls, which rounds up to 26 stalls. This brings the total required parking to 41 stalls for the project, which is fully provided on-site.

Two (2) parking spaces are designated for Electric Vehicle Charging Stations (EVCS), and there is one (1) ADA-compliant handicapped parking space with an adjacent loading zone. The site also provides 7 tractor/trailer parking stalls within the internal driveway loop, each measuring 75 feet long and 14 feet wide, ensuring safe access for large vehicles. A designated loading/unloading zone is included on the site, ensuring compliance with the Municipal Code for commercial and industrial developments.

Landscaping: The site features existing landscaping along the entrance and the eastern side of the access road. The landscaping will include low-growing ground cover, shrubs no taller than 3 feet, and one 15-gallon tree for every five parking spaces. A condition of approval will mandate the submission of a landscape and irrigation plan that complies with these standards, which must be reviewed before the issuance of building permits. This requirement is outlined in the Conditions of Approval in "**Exhibit B**" of *Attachment 1*. Overall, the existing landscaping and irrigation at the property will be refreshed so a thriving condition.

Fencing: The City's standard height for fences or walls is 8 feet. However, the applicant proposes a 9.5-foot-high fence, which includes a combination of chain link and wrought iron. A Minor Deviation has been requested to allow for a 20% height increase. The City's Municipal Code requires a solid block wall for screening nonresidential uses from public view, but the proposed chain link and wrought iron fencing does not meet this standard. To address this, the applicant will install Grasstik material along the north, east, and south sides of the site to provide additional visual screening. The placement of the fencing and screening materials is shown on the site plan provided on "**Exhibit E**" of *Attachment 1*.

General Plan Consistency: The Project is consistent with the following goals and policies of the General Plan: GOAL 2.3 -Provide a wide range of retail and service commercial opportunities designed to meet the needs of the City's residents, businesses, and visitors while also providing employment opportunities. GOAL 2.4- Provide for a mix of attractive industrial land uses designed to generate employment opportunities. by promoting the development of light, non-polluting industrial uses within the City (Policy 2.4.2) and by buffering to prevent potential land use incompatibility between industrial areas and other areas shall be given special consideration. Specific features could include increased setbacks, walls, berms, and landscaping.

Findings for Approval of the Site and Architectural Review: This Project requires approval of a Site and Architectural Review pursuant to Grant Terrace Municipal Code Chapter 18.63 (Site and Architectural Review), in which Section 18.63.060 includes all the necessary findings. All necessary findings can be made and are provided as "**EXHIBIT D**" of *Attachment 1* to this agenda report.

Findings for Approval of the Conditional Use Permit: This Project requires approval of a Conditional Use Permit pursuant to Grant Terrace Municipal Code Chapter 18.83 (Conditional Use Permits), in which Section 18.83.050 includes all the necessary findings. All necessary findings can be made and are provided as "**EXHIBIT C**" of *Attachment 1* to this agenda report.

Conflict of Interest (500 feet): There are no conflicts of interest in regards to real property within 500 feet of the project site, as surrounding uses fall within the Industrial zoning and land use designations.

ENVIRONMENTAL REVIEW:

Categorical Exemption. Pursuant to CEQA Guidelines Section 15332 In-Fill Development Projects. Class 32. This section pertains to a project site that has no value as habitat for endangered, rare, or threatened species and is located on a project site of no more than five acres and substantially surrounded by urban uses. The site can be adequately served by all facilities and public services and is consistent with the General Plan, designation, and regulations. The Notice of Exemption is provided as *Attachment 2* to this agenda staff report.

NOTIFICATION:

The Public Hearing Notice for the Project was published in compliance with the City's Municipal Code and the City's "Expanded Public Noticing and Outreach Policy for Public Hearings and Public Workshops." The Public Hearing Notice was published for this agenda item in the Thursday, November 21, 2024, edition of the *Grand Terrace City News.com* local newspaper. A mailer was sent out to all owners of real property located within a mailing notification radius of 500' feet from the Project site. The Public Hearing Notice was also posted in three public places, including the Grand Terrace News Paper, City Hall Lobby and Kiosk.

CONCLUSION:

Staff recommend that the Planning Commission/Site and Architectural Review Board adopt the attached Resolution (*Attachment 1*), approving Site and Architectural Review 24-04, Conditional Use Permit 24-04, and Environmental Review 24-06. This approval will facilitate the installation of two 1,440-square-foot commercial modular units, along with necessary site improvements such as 41 vehicle parking stalls, 7 tractor/trailer vehicle stalls, and new perimeter fencing (chain link and wrought iron). The proposed development is consistent with the City's General Plan, and the

attached fifty-five (55) Conditions of Approval for Conditional Use Permit 24-04 and seventy-five (75) Conditions of Approval for Site and Architectural Review 24-04 (will ensure the project is implemented responsibly, safeguarding the quality of life in Grand Terrace. All necessary required Municipal Code findings for approval for Conditional Use Permit 24-04 and Site and Architectural Review 24-04 can be made for the Equipment Share project.

ATTACHMENTS:

- 1) Resolution
- 2) Notice of Exemption

RESOLUTION NO. 2024-__

A RESOLUTION OF THE PLANNING COMMISSION/SITE AND ARCHITECTURAL REVIEW BOARD OF THE CITY OF GRAND TERRACE, CALIFORNIA, APPROVING SITE AND ARCHITECTURAL REVIEW 24-04, CONDITIONAL USE PERMIT 24-04, AND ENVIRONMENTAL 24-06, A REQUEST BY THE APPLICANT, EQUIPMENT SHARE, TO ESTABLISH A “HEAVY EQUIPMENT RENTALS, SALES AND SERVICES, OUTDOOR” LAND USE AND INSTALL TWO 1,440 SQUARE-FOOT SINGLE STORY COMMERCIAL MODULAR UNITS FOR USE AS OFFICES, AND SITE IMPROVEMENTS FOR A NEW CONSTRUCTION EQUIPMENT RENTALS, SALES, AND REPAIR BUSINESS AT 21506 MAIN STREET (APN: 1167-111-09) IN THE INDUSTRIAL DISTRICT (M2) ZONE

WHEREAS, Equipment Share (hereinafter, the “Applicant”) filed an application for Site and Architectural Review 24-04, Conditional Use Permit 24-04, and Environmental 24-06 for approval of two 1,440 square-foot commercial modular units and to establish a “Heavy equipment rentals, sales and services, outdoor” land use located at 21506 Main Street (APN: 1167-111-09) as depicted on the comprehensive architectural design package included as “**EXHIBIT E**” of this Resolution (hereinafter, the “Project”); and,

WHEREAS, the subject property is zoned Industrial District (M2); and,

WHEREAS, the City of Grand Terrace wishes to protect and preserve the quality of the Industrial District and surrounding areas of the City, as well as the quality of life throughout the City, through effective land use and planning; and,

WHEREAS, Municipal Code Section §18.63.010 of the Grand Terrace Municipal Code states that a Site and Architectural Review application provides a process for reviewing all major new construction projects, and the process calls for the review of the design of the development, an identification of potential impacts on the surrounding properties, and an assurance that the proposed Project complies with the provisions of the Zoning Code and General Plan; and,

WHEREAS, Municipal Code Section §18.66.010 of the Grand Terrace Municipal Code states that a Site and Architectural Review application provides a process for reviewing “commercial modular units” in the Industrial District (M2) Zone; and,

WHEREAS, Municipal Code Section §18.27.010 Nonresidential Land Use Regulations Table of the Grand Terrace Municipal Code identifies “Heavy equipment rentals, sales and services, outdoor” land use as being subject to a Conditional Use Permit in the Industrial District (M2) Zone; and,

WHEREAS, Municipal Code Section §18.63.020(D.) identifies the Site and Architectural Review Board the approval authority for all nonresidential Site and Architectural Review applications; and,

WHEREAS, Site and Architectural Review 24-04 is solely for two 1,440 square-foot commercial modular units, 41 vehicle parking stalls, 7 tractor/trailer parking stalls, and install 9 ½ tall chain link and wrought iron fencing around the perimeter of the project site located on a 4.11 acre property located at 21506 Main Street (APN: 1167-111-09) in adherence to the comprehensive

architectural design package included as “**EXHIBIT E**” and attached hereto; and,

WHEREAS, a set of seventy-five (75) Conditions of Approval have been prepared and attached as “**EXHIBIT B**” for Site and Architectural Review 24-04 to ensure the orderly development of the Project and to maintain the quality of life in Grand Terrace; and,

WHEREAS, the City finds, that Site and Architectural Review 24-04 and Conditional Use Permit 24-04 to be Categorically Exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section §15332 Class 32 (In-Fill Development Projects) of CEQA; and,

WHEREAS, Municipal Code Section §18.3.020 identifies the Site and Architectural Review Board the approval authority for all Conditional Use Permit applications; and,

WHEREAS, Conditional Use Permit 24-04 is solely approval of the office use of two 1,440 square-foot commercial modular units and to establish a “Heavy equipment rentals, sales and services, outdoor” land use located at 21506 Main Street (APN: 1167-111-09) in adherence to the comprehensive architectural design package included as “**EXHIBIT E**” and attached hereto; and,

WHEREAS, a set of fifty-five (55) Conditions of Approval have been prepared and attached as “**EXHIBIT A**” for Conditional Use Permit 24-04 to ensure the orderly development of the Project and to maintain the quality of life in Grand Terrace; and,

WHEREAS, on December 5, 2024, the City of Grand Terrace Planning Commission/Site and Architectural Review Board conducted a duly noticed Special Meeting for a Public Hearing on Site and Architectural Review 24-04, Conditional Use Permit 24-04, Environmental Review 24-06, and considered testimony and evidence presented by the Applicant, the public, city staff, and other interested parties, at the Public Hearing held within respect thereto; and,

WHEREAS, all legal prerequisites to the adoption of this Resolution have occurred.

NOW THEREFORE, THE PLANNING COMMISSION/SITE ARCHITECTURAL REVIEW BOARD OF THE CITY OF GRAND TERRACE DOES HEREBY RESOLVE AS FOLLOWS:

SECTION 1. The foregoing recitals set forth above are true and correct and incorporated herein by this reference and made a part hereof.

SECTION 2. The Planning Commission/Site and Architectural Review board hereby finds that Site and Architectural Review 24-04 and Conditional Use Permit 24-04 are Categorically Exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section §15332 Class 32 (In-Fill Development Projects).

SECTION 3. The findings for Site and Architectural Review 24-04 pursuant to Grand Terrace Municipal Code Section §18.63.060 can be made supporting the project application as follows:

- 1) The project is consistent with the intent of this code and the general plan; and,
- 2) The location and configuration of all structures associated with this Project are visually harmonious with this site and surrounding sites and structures, as they do not interfere with the neighbor’s privacy and do not unnecessarily

block scenic views from other structures and/or public areas and are in scale with the townscape and natural landscape of the area; and,

- 3) The architectural design of structures, their materials and colors are visually harmonious with surrounding development, natural landforms, are functional for the Project and are consistent with this code; and,
- 4) The plan for landscaping and open spaces provides a functional and visually pleasing setting for the structures on this site and is harmonious with the natural landscape of the area and nearby developments; and,
- 5) There is no indiscriminate clearing of property, destruction of trees or natural vegetation or the excessive and unsightly grading of hillsides, thus the natural beauty of the city, its setting and natural landforms are preserved; and,
- 6) The design and location of all signs associated with this project are consistent with the scale and character of the building to which they are attached or otherwise associated with and are consistent with this code; and,
- 7) Conditions of approval for this project necessary to secure the purposes of this code and general plan are made a part of this approval.
- 8) The project is compliant with the California Environmental Quality Act (CEQA).

The factual findings for which are attached as “**EXHIBIT D**” to this Resolution and incorporated herein by this reference and conditions of approval are attached as “**EXHIBIT B.**”

SECTION 4. The findings for Conditional Use Permit 24-04 pursuant to Grand Terrace Municipal Code Section §18.83.050 can be made supporting the project application as follows:

- 1) The “Heavy equipment rentals, sales and services, outdoor” land use will not be detrimental to the health, safety, morals, comfort or general welfare of the persons residing or working within the neighborhood of the project site or within the City; and,
- 2) The “Heavy equipment rentals, sales and services, outdoor” land use will not be injurious to property or improvements in the neighborhood or within the City; and,
- 3) The “Heavy equipment rentals, sales and services, outdoor” land use will be consistent with the latest adopted general plan; and,
- 4) Conditions necessary to secure the purposes of this Chapter are made a part of the conditional use permit; and,
- 5) The project is compliant with the California Environmental Quality Act (CEQA).

The factual findings for which are attached as “**EXHIBIT C**” to this Resolution and

incorporated herein by this reference and conditions of approval are attached as **"EXHIBIT A."**

SECTION 5. Based upon the forgoing and all oral and written communications from members of the public and City staff (including, but not limited to, all oral and written staff reports and attachments) presented at the December 5, 2024, Public Hearing, a Special Meeting of the Planning Commission/Site and Architectural Review Board, the Planning Commission hereby approves Conditional Use Permit 24-04 pursuant to the findings of fact included as **"EXHIBIT C"** of this Resolution, for a request by the Applicant, Equipment Share, for approval to develop two 1,440 square-foot single story commercial modular units and establish a "Heavy equipment rentals, sales and services, outdoor" land use, on a 4.11-acre site (APN: 1167-111-09) owned by Main Street Recycling LLC., located at 21506 Main Street, Grand Terrace, CA 92313, as depicted on the comprehensive architectural design package included as **"EXHIBIT E"** of this Resolution; and, subject to the Conditions of Approval for Site and Architectural Review 24-04, which are included as **"EXHIBIT A"** to this Resolution and incorporated herein by this reference.

SECTION 6. Based upon the forgoing and all oral and written communications from members of the public and City staff (including, but not limited to, all oral and written staff reports and attachments) presented at the December 5, 2024, Public Hearing, a Special Meeting of the Planning Commission/Site and Architectural Review Board, the Planning Commission hereby approves Site and Architectural Review 24-04 pursuant to the findings of fact included as **"EXHIBIT D"** of this Resolution, for a request by the Applicant, Equipment Share, for approval to develop two 1,440 square-foot single story commercial modular units, 24 vehicle parking stalls, 7 tractor/trailer parking stalls, and the replacement of the existing fencing around the perimeter of the site with 9.5-foot-high chain link and wrought iron fencing, on a 4.11-acre site (APN: 1167-111-09) owned by Main Street Recycling LLC., located at 21506 Main Street, Grand Terrace, CA 92313, as depicted on the comprehensive architectural design package included as **"EXHIBIT E"** of this Resolution; and, subject to the Conditions of Approval for Site and Architectural Review 24-04, which are included as **"EXHIBIT B"** to this Resolution and incorporated herein by this reference.

SECTION 7. If any section, subsection, subdivision, paragraph, sentence, clause, or phrase contained approved by this Resolution, or any part thereof, is for any reason held to be unconstitutional or invalid or ineffective by any court of competent jurisdiction, such decision shall not affect the validity of effectiveness of the remaining portions of this Resolution or any part thereof. The Planning Commission/Site and Architectural Review Board hereby declares that it would have passed each section, subsection, subdivision, paragraph, sentence, clause, or phrase thereof irrespective of the fact that any one or more subsections, subdivisions, paragraphs, sentences, clauses, or phrases are declared unconstitutional, invalid, or ineffective.

SECTION 8. The Project entitlements Site and Architectural Review 24-04 and Conditional Use Permit 24-04 shall become effective following the expiration of a ten (10) calendar day appeal period without filing of an appeal application from the date of Planning Commission/Site and Architectural Review Board and supersede all previous approval for the subject property.

SECTION 9. Site and Architectural Review 24-04 shall expire one (1) year from the date of the adoption of this Resolution unless the following actions occur:

- A. The applicant applies for a building permit and commits substantial investment in accordance with the approved plans prior to the expiration date.
- B. A business license is issued in accordance with this Code, as applicable.

C. The applicant has complied with all applicable conditions of approval.

In case the applicant is not able to comply with subsections a, b or c, then the applicant shall apply for an extension of the one-year compliance period prior to the end of that year period. The Planning Director may, upon application from the applicant, extend the compliance period for a specific length of time up to two (2) years. Two extensions are the maximum allowed on a date, no more than three (3) years from the date of the initial Planning Commission approval. Time extensions shall be filed at least sixty (60) days prior to the expiration date.

SECTION 10. Conditional Use Permit 24-04 shall expire one (1) year from the date of the adoption of this Resolution unless the following actions occur:

- A. All conditions of approval are met; or
- B. Sufficient investment has been completed and building permits are issued; or
- C. Business license is issued in accordance with the Grand Terrace Municipal Code.

In case the applicant is not able to comply with subsections a, b or c, then the applicant shall apply for an extension of the one-year compliance period prior to the end of that year period. The Planning Director may, upon application from the applicant, extend the compliance period for a specific length of time up to two (2) years. Two extensions are the maximum allowed on a date, no more than three (3) years from the date of the initial Planning Commission approval. Time extensions shall be filed at least sixty (60) days prior to the expiration date.

SECTION 11. City staff are hereby authorized and directed to file a Notice of Exemption (NOE) per Environmental 24-06 review with respect to the approval of Site and Architectural Review 24-04 and Conditional Use Permit 24-04.

APPROVED AND ADOPTED by the Planning Commission/Site and Architectural Review Board of the City of Grand Terrace, California, at a Special Meeting of Public Hearing held on the 5th day of December 2024.

ATTEST:

Dasysi Alcocer
City Clerk

Edward A. Giroux
Chairman

EXHIBIT A

CONDITIONS OF APPROVAL FOR CONDITIONAL USE PERMIT NO. 24-04

**Equipment Share
21506 Main Street, Grand Terrace, CA 92313
(APN: 1167-111-09)**

GENERAL

1. This Conditional Use Permit shall be solely for the benefit of the Applicant ("Equipment Share") in whose name the conditional use permit was approved, for the specific approved location at 21506 Main Street, Grand Terrace, CA 92313. Written notice must be provided to the City if the Applicant ceases operation of the "Heavy equipment rentals, sales and services, outdoor" land use at the 4.11-acre site (APN: 1167-111-09) owned by Main Street Recycling LLC. Equipment Share is designated a "Heavy equipment rentals, sales and services, outdoor" land use in the Municipal Code. It is comprised of offices, equipment rentals, equipment sales, equipment repair, and outdoor equipment storage for a variety of construction equipment and vehicles. This conditional use permit approved by the Planning Commission/Site and Architectural Review Board for the "Heavy equipment rentals, sales and services, outdoor" land use is transferable only if the new owner(s) agree to these Conditions of Approval.
2. A revision or modification to this conditional use permit such as, but not limited to, change in conditions, expansions, intensity or hours of operation may be requested by an Applicant. The requested revision or modification shall be processed in the same manner as the original conditional use permit which is a duly noticed Public Hearing before the City of Grand Terrace Planning Commission/Site and Architectural Review Board.
3. The Planning Commission/Site and Architectural Review Board may periodically review this conditional use permit to ensure that it is being operated in a manner consistent with conditions of approval or in a manner which is not detrimental to the public health, safety or welfare, or materially injurious to properties in the vicinity. If, after review, the Planning Commission deems that there is sufficient evidence to warrant a full examination, then a public hearing date shall be set. At such public hearing, the Planning Commission may modify or revoke the permit pursuant to Municipal Code Section 18.83.080.
4. The Applicant shall indemnify, protect, defend, and hold harmless the City, and any agency or instrumentality thereof, and officers, officials, employees, or agents thereof, from any and all claims, actions, suits, proceedings, or judgments against the City, or any agency or instrumentality thereof, and any officers, officials, employees, or agents thereof to attack, set aside, void, or annul, an approval of the City, or any agency or instrumentality thereof, advisory agency, appeal board, or legislative body, including actions approved by the voters of the City, concerning the Project and the approvals granted herein. Furthermore, the Applicant shall indemnify, protect, defend, and hold harmless the City, or any agency or instrumentality thereof, against any and all claims, actions, suits, proceedings, or judgments against another governmental entity in which the Applicant's Project is subject to that other governmental entity's approval and a condition of such approval is that the City indemnify and defend such governmental entity.

EXHIBIT A

5. In the event that this approval is legally challenged, the City will promptly notify the Applicant of any claim or action and will cooperate fully in the defense of the matter. Once notified, the Applicant agrees to defend, indemnify, and hold harmless the city, their affiliate's officers, agents and employees from any claim, action or proceeding against the City of Grand Terrace. The Applicant further agrees to reimburse the City of any costs and attorneys' fees, which the City may be required by a court to pay as a result of such action, but such participation shall not relieve Applicant of his or her obligation under this condition.
6. Upon approval of these conditions by the Planning Commission and prior to becoming final and binding, the Applicant must sign and return an Acceptance and Agreement to "Conditions of Approval" form. The form and content shall be prepared by the Planning and Development Services Department.
7. In the event that exhibits, and written conditions are inconsistent, the written conditions shall prevail.

APPEAL PERIOD

8. The decision of the Planning Commission/Site and Architectural Review Board shall be final unless appealed to the City Council within ten (10) calendar days. Such an appeal may be made by the applicant, any member of the City Council or any other interested person. If not appealed, this approval shall become effective on the eleventh (11th) calendar day after the date of the Planning Commission's approval; or the next city business day following such eleventh (11th) calendar day when the eleventh (11th) calendar day is not a City business day.

EXPIRATION AND EXTENSIONS

9. Approval of this permanent conditional use permit which runs with the land, no expiration time is set.
10. The compliance period after approval of this permanent conditional use permit is one (1) year. This conditional use permit shall automatically expire twelve (12) months from the date of adoption of this Resolution unless:
 - A. All conditions of approval are met; or
 - B. Sufficient investment has been completed and building permits are issued; or
 - C. Business license is issued in accordance with the Grand Terrace Municipal Code.

In case the applicant is not able to comply with subsections a, b or c, then the applicant shall apply for an extension of the one-year compliance period prior to the end of that year period. The Planning Director may, upon application from the applicant, extend the compliance period for a specific length of time up to two (2) years. Two extensions are the maximum allowed on a date, no more than three (3) years from the date of the initial Planning Commission approval. Time extensions shall be filed at least sixty (60) days prior to the expiration date.

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VIOLATIONS AND REVOCATION

11. In the event that the “Heavy equipment rentals, sales and services, outdoor” land use violates or fails to comply with any of these conditions of approval of this conditional use permit, the City may take measures to cure such violations, including but not limited to, administrative citations and full reimbursement of the City for its costs and expenses, including but not limited to, attorney’s fees, in undertaking such corrective action. Reimbursement of enforcement costs shall constitute a civil debt and may be collected by any means permitted by law. In the event that violations of this permit occur, the City shall refrain from issuing further permits, licenses or other approvals until such violations have been fully remedied.
12. This conditional use permit may be revoked if any of the following actions occur:
 - A. Any violation of a conditional use permit's required condition of approval; or
 - B. Any Federal, State or local law or ordinance is violated in connection with a conditionally permitted use.

The Planning Commission shall hold a public hearing to consider the revocation. Said hearing shall be noticed in accordance with Section 65091 of the California Government Code and with Section 18.03.070 (Public Hearing Notice) of Chapter 18.03 (General provisions). After conducting the public hearing the Planning Commission shall make a recommendation to the City Council regarding revocation of the conditionally permitted use. After receiving the Planning Commission's recommendation, the City Council shall conduct its own public hearing and make a final determination to revoke, amend or leave unchanged the subject conditional use permit.

BUILDING PERMIT AND BUSINESS LICENSE PROCESS

13. After the appeal period has ended or after a final determination is made by the City Council, the applicant may submit for a business license and/or a building permit.
14. An application for a building permit shall include three sets of the approved site plan and floor plans, each set shall be approved and signed by the Planning Director and shall have attached to it a copy of any conditions of approval required by the Planning Commission or the City Council. Two of the required sets of plans shall be submitted to the Department of Building and Safety along with the appropriate construction specification plans for the approved project. The third set shall be kept on file in the Planning Department. The Department of Building and Safety shall then prepare the appropriate permits in accordance with all applicable State and local codes.
15. An application for a business license shall be processed through the Finance Department. An application for a business license shall be signed by the Planning Director indicating the “Heavy equipment rentals, sales and services, outdoor” land use's compliance with this Title. A copy of any conditions of approval required by the Planning Commission or the City Council shall be attached to the business license. A valid City Business License must be maintained at all times.

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16. No building, structure or portion thereof shall be used or occupied for any use or purpose prior to receiving a certificate of occupancy for all new construction and a business license for any new, expanded or relocated business activity.
17. No building or structure shall be moved onto the subject property or moved from one location on the subject property to another location on the subject property, unless the building or structure is made to conform to all the regulations of the property on which it is to be located and the Building/Fire Codes.
18. A sign permit shall be required for all permanent signs (building attached or freestanding) prior to erection, relocation, alteration, or replacement of a sign. A sign permit shall not be required for general maintenance of existing signs or the replacement of the sign face (including message) when the area of the sign is not being changed and a building permit is not required (e.g., the replacement of a sign face on a can sign).

ENVIRONMENTAL

19. Within 24 hours of this approval of the subject Project, the Applicant shall deliver a payment of \$50.00 and (check should be made out to the "Clerk of the Board of Supervisors" to enable the City to file the Notice of Exemption. If within such 48 hour period the payment has not been delivered to the Community Development Department by the above-noted check, the statute of limitations for any interested party to challenge the environmental determination under the provisions of the California Environmental Quality Act could be significantly lengthened.

ART IN PUBLIC PLACES

20. No final City approval, such as a final inspection or a certificate of occupancy, for this "Heavy equipment rentals, sales and services, outdoor" land use shall be granted or issued unless and until full compliance with the art in public places is achieved in one of the following ways:
 - A. The developer shall provide the City with proof of installation of the required the work of art in a manner satisfactory to the City pursuant to Section 18.81.060.
 - B. In-lieu fees have been paid as calculated pursuant to Section 18.81.060.
 - C. Financial security in an amount equal to the acquisition and installation cost of an approved works of art as calculated pursuant to Section 18.81.060 and in a form approved by the City Attorney have been posted.
 - D. An approved work of art has been donated and accepted by the City pursuant to Section 18.81.100.

BUSINESS OPERATIONS

21. The "Heavy equipment rentals, sales and services, outdoor" land use shall operate in full conformance with the description and requirements of this conditional use permit on file with the City of Grand Terrace. Any variations from, or changes in, the approved "Heavy equipment rentals, sales and services, outdoor" land use must first be reviewed and

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approved by the Planning Commission/Site and Architectural Review Board as a Conditional Use Permit Amendment prior to commencement of the change.

22. Approved hours of operation for the “Heavy equipment rentals, sales and services, outdoor” land use is from 3:00 am to 7:00 pm Monday through Saturday. Sunday hours at 7am to 7pm.
23. A total of forty-one (41) parking spaces with concrete wheel stops shall be provided for customer and employee parking only. No “Heavy equipment rentals, sales and services, outdoor” land use activities or storage shall occur in the designated forty-one (41) designated parking spaces at any time. All forty-one (41) parking spaces shall be maintained in a neat and orderly manner.
24. All parking spaces and loading spaces shall be clearly striped and maintained with double (hairpin) lines. Each of the lines shall be an equal nine inches from the sideline of the required parking space. Handicapped parking spaces shall be striped and individually identified in accordance with the Uniform Building Code and the California Vehicle Code.
25. All aisles, fire lanes, maneuvering areas and/or other specified non-parking areas shall be clearly marked and maintained with directional arrows and striping.
26. If at any time the total number of employees exceeds the forty-one (41) parking spaces provided, the Applicant shall be responsible for immediately alerting the City Planning Department. Within forty-five (45) days of alerting the City, the Applicant shall submit a parking management plan to be processed as an amendment to this conditional use permit through the Planning Commission/Site and Architectural Review Board. The applicant shall be responsible for paying all fees and deposits associated with the review and approval of the parking management plan.
27. No overnight storage is allowed outside of the designated areas depicted on the staging layout approved as a part of this conditional use permit and incorporated herein as **EXHIBIT E** of the approving Resolution.
28. During non-business hours, all equipment and vehicles shall be stored within the building or designated staging areas as depicted on the staging layout approved as a part of this conditional use permit and incorporated herein as **EXHIBIT E** of the approving Resolution.
29. Storage containers, conex containers, shipping containers, sheds, tents, awnings another similar like structures are prohibited at the subject property under this conditional use permit.
30. Empty pallets and pallet stands are prohibited to be located outdoors at the subject property under this conditional use permit.
31. All operational activities associated with the “Heavy equipment rentals, sales and services, outdoor” land use shall comply with the regulations of the City’s Noise Ordinance, Chapter 8.108 of the Grand Terrace Municipal Code.
32. All equipment located in the approved staging areas shall not be allowed to stack or raise equipment in a manner that increases the visibility from adjacent properties.

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33. All lifts/booms and other equipment that is stored outside in the approved staging areas shall be compressed and folded down so as not to exceed the height of the perimeter fencing.
34. All equipment stored outside in the approved staging areas shall not be used as signage or displayed in a way to be intentionally visible from any adjacent property or public right-of-way.
35. The "Heavy equipment rentals, sales and services, outdoor" land use shall maintain and evenly distribute at ground level an illumination level at a range of five (5) to ten (10) foot candles (measured at ground level).
36. Lighting shall be designed to reflect away from adjacent properties and public roadways.
37. No operational activities, sign, or lighting fixture associated with the "Heavy equipment rentals, sales and services, outdoor" land use shall create illumination on adjacent property that exceeds three (3) foot candles, whether the illumination is direct or indirect light from the source, as measured from the property line at ground level.
38. No operational activities associated with the "Heavy equipment rentals, sales and services, outdoor" land use shall be permitted to emit odorous gases or other odorous matter in such quantities as to be dangerous, injurious, noxious, or otherwise objectionable which is detectable with or without the aid of instruments at or beyond the property line.
39. All operational activities associated with the "Heavy equipment rentals, sales and services, outdoor" land use shall not directly or indirectly discharge air contaminants into the atmosphere, including smoke, sulfur compounds, dust, soot, carbon, noxious acids, gases, mist, odors, or particulate matter, or other air contaminants or combinations which exceed any local, state or federal air quality standards or which might be obnoxious or offensive to anyone residing or conducting business either on site or abutting the subject site. Particulate matter shall not be discharged into the atmosphere in excess of the standards of Federal and State requirements.
40. No operational activities associated with the "Heavy equipment rentals, sales and services, outdoor" land use shall be permitted which result at any time in the release or emission of any fissionable or radioactive materials into the atmosphere, the ground, or sewerage system.
41. No operational activities or action associated with the "Heavy equipment rentals, sales and services, outdoor" land use shall cause any source of electrical or electronic disturbance that adversely affects persons or the operation of any equipment on any other lot and is not in conformance with the regulations of the Federal Communication Commission.
42. No operational activities or action associated with the "Heavy equipment rentals, sales and services, outdoor" land use shall emit heat or cold which would cause a temperature increase or decrease on any adjacent property in excess of ten degrees Fahrenheit, whether the change is in the air, on the ground, or in any structure.

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43. The property ownership is responsible for the continuous maintenance of all buildings, structures, yards, landscaping, signs, parking areas, and other improvements on the property in a manner which does not detract from the appearance of the surrounding area. All portions of a lot, including yards, setbacks, buildings, structures, signs, parking and loading areas, driveways, open areas, landscaping and other features shall be permanently maintained in a neat, attractive, weed free manner.
44. All parking areas shall be surfaced and maintained with asphaltic, concrete, or other permanent, impervious surfacing material so as to prevent mud, dust, loose material, and other nuisances.
45. The property ownership shall repair any vandalism or damage to the perimeter fencing and remove any graffiti from the subject property within forty-eight (48) hours of its discovery in matching colors to the existing improvements.
46. No operational activities or action associated with the "Heavy equipment rentals, sales and services, outdoor" land use shall discharge at any point into any public or private street, public or private sewer, stream, body of water, or into the ground any materials of such nature or temperature as can contaminate any water supply, interfere with bacterial processes in sewage treatment, or otherwise cause the emission of dangerous or offensive elements, except in accord with applicable standards approved by governmental agencies having jurisdiction. All grading, grubbing, clearing, soil disturbance, an/or construction operations shall comply with the erosion control and best management practices of the City's current permit for the National Pollution Discharge Elimination System (NPDES), as it may be amended from time to time.
47. All loading and unloading activities or deliveries associated with the "Heavy equipment rentals, sales and services, outdoor" land use shall occur on the subject property.
48. The "Heavy equipment rentals, sales and services, outdoor" land use Uses shall be operated in compliance with the following provisions:
 - A. The generation of vibration of a duration and intensity so as to be excessive, disturbing, or objectionable to persons located offsite, shall not be permitted.
 - B. The "Heavy equipment rentals, sales and services, outdoor" land use shall not generate ground vibration that interferes with the operations of equipment and facilities of adjoining parcels.
49. All trash and refuse shall be disposed of in Burrtec dumpsters pursuant to City Codes and removed from the premises on an as needed basis. All dumpsters shall be enclosed in a Municipal Code compliant trash enclosure.
50. The City of Grand Terrace shall be designated as the point of sale for sales and use tax purposes for any sales or transactions that originate or occur at the subject property, in accordance with applicable State Laws.
51. A building permit shall be obtained for any tenant improvement, construction, remodel, renovation, or expansion.

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52. The Applicant shall obtain approval of both an Administrative Site and Architectural Review and a Building Permit for the nine feet – six inches (9'-6") tall perimeter fencing prior to installation or the fencing.
53. An emergency key boy "Knox Rapid Access System" shall be provided at the entry gate.
54. The Applicant shall ensure that all employees have been trained in the containment and removal of liquid spills and shall, at all times, ensure that the business has a spill kit on site which is placed in a conspicuous and marked area.
55. The accumulation and storage of dismantled, wrecked, inoperative, junked, abandoned or unused vehicles or parts thereof, on private or public property (other than streets and highways which are regulated by the Vehicle Code) the City Council has found to create conditions tending to reduce the value of private and public property, to promote blight and deterioration, invite plundering, to create fire hazards, to constitute an attractive nuisance creating a hazard to the health and safety of minors, to create a harborage for rodents and insects and to be injurious to the health, safety and general welfare of the public. Therefore, the presence of inoperative, dismantled, wrecked, junked, abandoned or unused vehicles or parts thereof on private or public property (other than on streets and highways) in the city except as expressly permitted in the Municipal Code, is declared to constitute a public nuisance which may be abated as such in accordance with the provisions of the Municipal Code. The storage and repair of vehicles onsite shall comply with the vehicle abatement standards established in Chapter 8.08 of the Grand Terrace Municipal Code "Vehicle Abatement and Removal Program."

xxx

EXHIBIT B

CONDITIONS OF APPROVAL FOR SITE AND ARCHITECTURAL REVIEW 24-04

**Equipment Share
21506 Main Street, Grand Terrace, CA 92313
(APN: 1167-111-09)**

GENERAL

1. This Site and Architectural Review (with public hearing) has been approved exclusively for the benefit of the Applicant ("Equipment Share") in whose name the site and architectural review was approved, for the specific location at 21506 Main Street, Grand Terrace, CA 92313. The project site is 4.11-acres (APN: 1167-111-09) and owned by Main Street Recycling LLC. Equipment Share is designated a "Heavy equipment rentals, sales and services, outdoor" land use in the Municipal Code. It is comprised of offices, equipment rentals, equipment sales, equipment repair, and outdoor equipment storage for a variety of construction equipment and vehicles. The development project is approved as submitted, with the conditions outlined herein.
2. A revision or modification to this site and architectural review such as, but not limited to, change in conditions, expansions or intensity may be requested by an Applicant. The requested revision or modification shall be processed in the same manner as the original site and architectural review which is a duly noticed Public Hearing before the City of Grand Terrace Planning Commission/Site and Architectural Review Board.
3. The Planning Commission/Site and Architectural Review Board may periodically review this site and architectural review to ensure that it is being operated in a manner consistent with conditions of approval or in a manner which is not detrimental to the public health, safety or welfare, or materially injurious to properties in the vicinity. If, after review, the Planning Commission deems that there is sufficient evidence to warrant a full examination, then a public hearing date shall be set. At such public hearing, the Planning Commission may modify the site architectural review pursuant to Municipal Code Section 18.63.090.
4. The Applicant shall indemnify, protect, defend, and hold harmless the City, and any agency or instrumentality thereof, and officers, officials, employees, or agents thereof, from any and all claims, actions, suits, proceedings, or judgments against the City, or any agency or instrumentality thereof, and any officers, officials, employees, or agents thereof to attack, set aside, void, or annul, an approval of the City, or any agency or instrumentality thereof, advisory agency, appeal board, or legislative body, including actions approved by the voters of the City, concerning the Project and the approvals granted herein. Furthermore, the Applicant shall indemnify, protect, defend, and hold harmless the City, or any agency or instrumentality thereof, against any and all claims, actions, suits, proceedings, or judgments against another governmental entity in which the Applicant's Project is subject to that other governmental entity's approval and a condition of such approval is that the City indemnify and defend such governmental entity.
5. In the event that this approval is legally challenged, the City will promptly notify the Applicant of any claim or action and will cooperate fully in the defense of the matter. Once

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notified, the Applicant agrees to defend, indemnify, and hold harmless the city, their affiliate's officers, agents and employees from any claim, action or proceeding against the City of Grand Terrace. The Applicant further agrees to reimburse the City of any costs and attorneys' fees, which the City may be required by a court to pay as a result of such action, but such participation shall not relieve Applicant of his or her obligation under this condition.

6. Upon approval of these conditions by the Planning Commission and prior to becoming final and binding, the Applicant must sign and return an Acceptance and Agreement to "Conditions of Approval" form. The form and content shall be prepared by the Planning and Development Services Department.
7. In the event that exhibits, and written conditions are inconsistent, the written conditions shall prevail.
8. The "Heavy equipment rentals, sales and services, outdoor" land use shall require approval of a conditional use permit from the Planning Commission/Site and Architectural Review Board.

APPEAL PERIOD

9. The decision of the Planning Commission/Site and Architectural Review Board shall be final unless appealed to the City Council within ten (10) calendar days. Such an appeal may be made by the applicant, any member of the City Council or any other interested person. If not appealed, this approval shall become effective on the eleventh (11th) calendar day after the date of the Planning Commission's approval; or the next city business day following such eleventh (11th) calendar day when the eleventh (11th) calendar day is not a City business day.

EXPIRATION AND EXTENSIONS

10. Approval of site and architectural review (public hearing required) which runs with the land, no expiration time is set.
11. The compliance period after approval of this site and architectural review is one (1) year. This site and architectural review shall automatically expire twelve (12) months from the date of adoption of this Resolution unless the following actions occur:
 - A. The applicant applies for a building permit and commits substantial investment in accordance with the approved plans prior to the expiration date.
 - B. A business license is issued in accordance with this Code, as applicable.
 - C. The applicant has complied with all applicable conditions of approval.

In case the applicant is not able to comply with subsections a, b or c, then the applicant shall apply for an extension of the one-year compliance period prior to the end of that year period. The Planning Director may, upon application from the applicant, extend the compliance period for a specific length of time up to two (2) years. Two extensions are the maximum allowed on a date, no more than three (3) years from the date of the initial

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Planning Commission approval. Time extensions shall be filed at least sixty (60) days prior to the expiration date.

VIOLATIONS

12. In the event that the "Heavy equipment rentals, sales and services, outdoor" land use development project violates or fails to comply with any of these conditions of approval of this site and architectural review, the City may take measures to cure such violations, including but not limited to, administrative citations and full reimbursement of the City for its costs and expenses, including but not limited to, attorney's fees, in undertaking such corrective action. Reimbursement of enforcement costs shall constitute a civil debt and may be collected by any means permitted by law. In the event that violations of this permit occur, the City shall refrain from issuing further permits, licenses or other approvals until such violations have been fully remedied.

BUILDING PERMIT PROCESS

13. After the appeal period has ended or after a final determination is made by the City Council, the applicant may submit for a building permit.
14. An application for a building permit shall include three sets of the approved site plan and floor plans, each set shall be approved and signed by the Planning Director and shall have attached to it a copy of any conditions of approval required by the Planning Commission or the City Council. Two of the required sets of plans shall be submitted to the Department of Building and Safety along with the appropriate construction specification plans for the approved project. The third set shall be kept on file in the Planning Department. The Department of Building and Safety shall then prepare the appropriate permits in accordance with all applicable State and local codes.
15. No building, structure or portion thereof shall be used or occupied for any use or purpose prior to receiving a certificate of occupancy for all new construction and a business license for any new, expanded or relocated business activity.
16. No building or structure shall be moved onto the subject property or moved from one location on the subject property to another location on the subject property, unless the building or structure is made to conform to all the regulations of the property on which it is to be located and the Building/Fire Codes.
17. A sign permit shall be required for all permanent signs (building attached or freestanding) prior to erection, relocation, alteration, or replacement of a sign. A sign permit shall not be required for general maintenance of existing signs or the replacement of the sign face (including message) when the area of the sign is not being changed and a building permit is not required (e.g., the replacement of a sign face on a can sign).

ENVIRONMENTAL

18. Within 24 hours of this approval of the subject Project, the Applicant shall deliver a payment of \$50.00 and (check should be made out to the "Clerk of the Board of Supervisors" to enable the City to file the Notice of Exemption. If within such 48 hour period the payment has not been delivered to the Community Development Department by the

EXHIBIT B

above-noted check, the statute of limitations for any interested party to challenge the environmental determination under the provisions of the California Environmental Quality Act could be significantly lengthened.

ART IN PUBLIC PLACES

19. No final City approval, such as a final inspection or a certificate of occupancy, for this "Heavy equipment rentals, sales and services, outdoor" land use development project shall be granted or issued unless and until full compliance with the art in public places is achieved in one of the following ways:
 - A. The developer shall provide the City with proof of installation of the required the work of art in a manner satisfactory to the City pursuant to Section 18.81.060.
 - B. In-lieu fees have been paid as calculated pursuant to Section 18.81.060.
 - C. Financial security in an amount equal to the acquisition and installation cost of an approved works of art as calculated pursuant to Section 18.81.060 and in a form approved by the City Attorney have been posted.
 - D. An approved work of art has been donated and accepted by the City pursuant to Section 18.81.100.

REFUSE CONDITIONS

20. All trash facilities shall be screened by a six-foot-high decorative block wall. The enclosure shall follow current California Building Code accessibility requirements, as amended from time to time. A drain shall be installed and connected directly into the City's wastewater system, per City of Colton Wastewater standards. The storage and trash enclosure shall contain lockable front facing decorative metal doors and a side door, and a decorative metal roof or cover with screening to prevent illegal dumping. All decorative material shall be compliant with the City's objective design standards and match the commercial modular units in color and finish.
21. The trash enclosure shall be designed to accommodate at least two standard 4-cubic yard commercial bins for trash and mixed recyclables.
22. Any design modifications to the project design, enclosure specifications or location, or access that could adversely impact Burrtec's ability service will be subject to review and approval by Burrtec. Trash enclosures shall be designed in consistency with Burrtec requirements.

BUILDING AND SAFETY CONDITIONS

23. A building permit shall be required for the development with compliance to the currently adopted California Building and Fire Codes and City of Grand Terrace Municipal Code.
24. Prior to the issuance of a building permit, the applicant shall pay any associated Development Impact Fees to the City; this also includes school fees, Public Works fees, and outside agency fees including but not limited to Colton Wastewater, Riverside-

EXHIBIT B

Highland Water Co., and utilities. Copies of receipts shall be provided to Building & Safety prior to permit issuance.

25. All construction projects shall comply with the National Pollutant Discharge Elimination Systems (NPDES), and the San Bernardino County MS-4 Storm Water Permit.
26. The Applicant shall submit a completed Construction & Demolition (C&D) Waste Diversion Program / Waste Management Plan (WMP) form along with the required C&D deposit based per square footage of construction and/or demolition prior to building permit issuance.
27. Prior to building and demolition permit issuance, the applicant shall establish haul services for construction waste material with Burrtec to facilitate the recycling of all recoverable/recyclable material as required per the California Green Code and City of Grand Terrace Municipal Code. No self-hauling is permitted.
28. Prior to issuance of any demolition permits, notification shall be made to the South Coast Air Quality Management District (SCAQMD) of demolition work. A copy of the SCAQMD approved application shall be provided to the Building Division. In addition, an asbestos and lead-free certification shall be provided to the Building Division before permit issuance. Presence of any asbestos and/or lead within the building must be abated by a licensed abatement contractor before demolition.
29. Bicycle racks for a minimum of six (6) bicycles shall be installed adjacent to the building entrances of the commercial modular units per the California Green Building Standards Code.
30. Underground installation of conduit/raceway and other components to accommodate future installation of electric vehicle chargers shall be included in the construction set of plans.
31. Separate building permits will be required for the following items: trash enclosure, commercial modular units, fences exceeding 6' feet, PV solar, signs (wall mounted & monument), electric vehicle chargers, and any other items requiring a permit per California Building Code (CBC) 105.1.
32. An accessible path of travel shall be provided by connecting the Main Street public right-of-way to the commercial modular unit entrances.
33. An automated external defibrillator (AED), bleeding control kit, and Narcan supply kit shall be installed within all buildings on the subject property with a minimum one of each in every building.
34. Plans for commercial modular units, including construction of prefabricated buildings, must be Title 25 compliant and current with the CA Department of Housing and Community Development.
35. All commercial modular units shall be equipped with automatic fire sprinklers GTMC 15.08.030.

EXHIBIT B

36. Structural plans for the foundation/footings shall be submitted for plan review under a separate permit.
37. A copy of the accepted Conditions of Approval shall be placed on the final construction plans. Final construction plans shall be placed at the job site until receipt of final Certificate of Occupancy. The Applicant/Developer shall be fully responsible for knowing and complying with all Conditions of Approval.
38. The Applicant shall be responsible for regular and ongoing upkeep and maintenance of the site, including parking lot paving condition and striping, clearing of trash, weeds, and debris, lighting, and other site improvements. All parking facilities shall be maintained in good condition, with no cracks, potholes, or fading parking striping. For the purposes of this condition, the parking lot pavement shall be considered in bad condition if it exhibits cracks that are 1/2 inch or wider, or cover more than 10% of the total surface area of the parking lot; potholes that are deeper than 2 inches or affect an area larger than 1 square foot; parking striping that is no longer clearly visible or has faded to the point that it no longer provides adequate guidance for parking; extensive surface wear or raveling, where the asphalt is breaking down or losing its structural integrity; or significant settling or uneven surfaces that could pose a tripping hazard or create drainage issues. The maintenance thereof may include but shall not be limited to the repaving, sealing, and striping of a parking area and the repair, restoration, and/or replacement of any parking area design features when deemed necessary by the City to ensure the health, safety, and welfare of the general public.
39. The Applicant shall provide four (4) sets of construction plans and documentation for plan review of the "Heavy equipment rentals, sales and services, outdoor" land use development project. The applicant shall submit a completed building permit application and the following documents for plan check review. The initial plan review will take approximately two weeks on most projects.

Provide the following sets of plans and documents.

- (4) Architectural Floor Plans & Elevations
 - (2) Structural Plans
 - (2) Structural Calculations
 - (4) Plot/Site Plans
 - (2) Electrical Plans
 - (2) Electrical Load Calculations
 - (2) Plumbing Plans/Isometrics, Water, Sewer and Gas
 - (2) Mechanical Plans
 - (2) Mechanical Duct Layout Plans
 - (2) Roof and Floor Truss Plans if applicable
 - (2) Title 24 Energy Calculations
 - (2) Drainage Plans
 - (2) Photovoltaic (PV) Solar Plan
 - (2) Water Quality Management Plan (WQMP)
40. All structures shall be in accordance with the currently adopted building codes by the State of California and City of Grand Terrace Municipal Code as adopted at time of plan submittal. If a new code has been adopted prior to the submittal, then all structures shall be designed to the current model code year.

EXHIBIT B

41. The Applicant is responsible for the coordination of the final occupancy. The Applicant shall obtain clearances from each department and division prior to requesting a final building inspection from Building & Safety. Each agency shall sign the bottom of the Job Card or Certificate of Occupancy Clearance Form.
42. All construction sites must be protected by a temporary construction security fence and screening. The fencing and screening shall be always maintained to protect pedestrians.
43. Construction projects which require temporary electrical power shall obtain an Electrical Permit from Building & Safety. No temporary electrical power will be granted to a project unless one of the following items is in place and approved by Building & Safety and the Planning Division:
 - A. Installation of a construction trailer, or,
 - B. Security fenced area where the electrical power will be located.
44. The Applicant shall submit a Fence/Wall Agreement signed by the adjacent property owners authorizing construction of any wall/fence on the shared property line. In the absence of a Fence/Wall agreement, the construction plans shall demonstrate the perimeter fence/wall shall be constructed entirely inside the Project's property line.
45. Any exterior structural equipment, or utility transformers, boxes, ducts, or meter cabinets shall be architecturally screened by wall or structural element, blending with the building design and include landscaping when on the ground.
46. All rooftop mechanical equipment shall be located at a distance from the edge of the building or shielded by means of a lattice or similar materials or parapet, so as not to be visible from the pedestrian level, adjacent roads or adjacent properties.

COMMERCIAL MODULAR UNITS

47. Commercial modular units shall comply with the standards of the underlying zone district, and other applicable provisions of the Zoning Code.
48. The age of the commercial modular units at the time of installation shall be ten (10) years or less.
49. The commercial modular units shall be installed on a permanent foundation.
50. Commercial modular units shall require approval of a conditional use permit from the Planning Commission/Site and Architectural Review Board.
51. Prior to the installation of a commercial modular unit, all requisite certifications shall be submitted to the Building Department in conjunction with the application for a building permit.
52. Commercial modular units shall be architecturally treated with an exterior non-reflective surface material customarily used on commercial structures and shall extend from the

EXHIBIT B

eave line to the foundation, and shall be architecturally designed to be compatible with surrounding commercial and/or industrial structures.

53. All roof designs for manufactured homes shall include a minimum 16-inch overhang and a minimum roof pitch of not less than two inches vertical rise for each 12 inches of horizontal run. Roofing materials of a type customarily used for conventional single-family dwellings.
54. Mechanical equipment on the commercial modular units shall be located so as to not be visible from a public street or adjoining property.

LANDSCAPE AND HARDSCAPE

55. The landscape and irrigation plans shall conform to the City's Water Efficient Landscape Ordinance (Chapter 15.56) Landscaping Standards contained in Chapter 18.60 of the Zoning Code and in compliance with the most recent version of the State Model Ordinance.
56. The Applicant shall maintain the landscaping in a clean without weeds and debris and all dead and dying plants shall be replaced.
57. The Applicant must replace all dead or missing plants and trees as to comply with the approved landscape plan. The replacement plants and trees shall be similar or equivalent type, size, and height of the specimen being replaced as originally planted pursuant to the approved Landscaping and Irrigation Plan. The plant material replacement shall be installed within 30 days of being notified by city staff.
58. Landscape plans shall depict the utility laterals, hardscape improvements, fencing, walls and tree locations.
59. Irrigation plans shall include all connections and locations to the City mains for on-site irrigation, including all meter and backflow prevention devices.
60. All irrigation shall be "purple pipe" at the property, and when reclaimed water infrastructure becomes available to the Project, the Property Owner shall disconnect irrigation from potable source and connect to reclaimed water source resulting in a non-potable irrigation.
61. All landscaping areas, including landscape planters, perimeter landscape areas and tree wells shall be fully irrigated by an automatic sprinkler system, shall be separated from any paved parking surface by a six inch raised concrete curb or its equivalent and shall be kept in a clean, neat and healthy condition and the irrigation system in an adequate working order.
62. All parking areas shall be surfaced and maintained with asphaltic, concrete, or other permanent, impervious surfacing material so as to prevent mud, dust, loose material, and other nuisances.
63. Concrete wheel stops shall be placed two feet from the front end of the parking space.

EXHIBIT B

64. All parking spaces and loading spaces shall be clearly striped and maintained with double (hairpin) lines. Each of the lines shall be an equal nine inches from the sideline of the required parking space. Handicapped parking spaces shall be striped and individually identified in accordance with the Uniform Building Code and the California Vehicle Code.
65. All aisles, fire lanes, maneuvering areas and/or other specified non-parking areas shall be clearly marked and maintained with directional arrows and striping.
66. Permanent perimeter security fencing along the north, south, and eastern boundaries shall stand 9 ½ feet tall and be covered with "grasstik" material to block visibility in and out. On the western side, wrought iron fencing will be installed, without the additional "grasstik" screening; however, an existing landscaped area will provide further visual cover when viewed from the canal. The Applicant shall obtain a minor deviation approval from the Planning Department prior to installation of the fence. All fencing must be installed with grasstik prior to issuance of certificate of occupancy.

LIGHTING

67. Lighting shall be designed to reflect away from adjacent properties and public roadways.
68. Light standards shall not exceed eighteen feet in height measured from the finished grade of the parking surface and shall maintain and evenly distribute at ground level an illumination level at a range of five (5) to ten (10) foot candles (measured at ground level).
69. No lighting shall create illumination on an adjacent property which exceeds three (3) foot candles (measured at ground level).

PRIOR TO THE ISSUANCE OF FINAL CERTIFICATE OF OCCUPANCY

70. The Applicant shall incorporate any "Record Revisions" or "As-Builts" into a complete set of final plans that reflect the changes to the improvements as constructed. Digital and physical copies of the final plans shall be provided to the Building Official prior to the issuance of Final Certificate of Occupancy of the commercial modular units.
71. Prior to the issuance of Final Certificate of Occupancy of the building, the Applicant shall screen all ground mounted equipment, including backflow devices, in a manner that does not impede traffic visibility. Screening is in addition to required backflow protection cages/enclosures that shall be required for all backflow preventer valves, irrigation valves, bypass meter assemblies and similar devices associated with the development.
72. Prior to the issuance of Final Certificate of Occupancy of the building, the future tenant shall comply with Local, State, and Federal requirements, and obtain a City Business License from the Finance Department prior to initiating business operations. The business license shall be renewed annually, at the beginning of each calendar year, during the month of January, for as long as the business is in operation.
73. The Applicant is responsible for the coordination of the final Certificate of Occupancy for the building and shall obtain clearances from each department and division prior to requesting a final building inspection from Building & Safety. Each agency shall sign the bottom of the Job Card or Certificate of Occupancy Clearance Form.

EXHIBIT B

74. Prior to the issuance of a Certificate of Occupancy, a roof mounted photovoltaic (PV) solar and energy storage system shall be operational and fully functional before final inspection. The PV systems shall not be visible from the street view.
75. Prior to the issuance of the Certificate of Occupancy, the City shall conduct a final landscape and irrigation inspection. Said inspection shall be requested by the Applicant a week prior to the desired inspection date.

EXHIBIT C

FINDINGS OF APPROVAL FOR CONDITIONAL USE PERMIT 24-04

**Equipment Share
21506 Main Street, Grand Terrace, CA 92313
(APN: 1167-111-09)**

As required by Section §18.83.050 of the Grand Terrace Municipal Code, approval of Conditional Use Permit 24-04 for approval of two 1,440 square-foot commercial modular units and to establish a “Heavy equipment rentals, sales and services, outdoor” land use located at 21506 Main Street (APN: 1167-111-09) as depicted on the comprehensive architectural design package included as “**EXHIBIT E**” of this Resolution; and, subject to the Conditions of Approval for Site and Architectural Review 24-04, which are included as “**EXHIBIT A**” to this Resolution and incorporated herein by this reference, is based on the following findings:

1. **Finding:** The “Heavy equipment rentals, sales and services, outdoor” land use will not be detrimental to the health, safety, morals, comfort or general welfare of the persons residing or working within the neighborhood of the project site or within the City.

Facts in Support of Finding: The development of two prefabricated commercial modular units for use as office buildings, parking stalls, and fencing at 21506 Main Street will not be detrimental to the health, safety, morals, comfort, or general welfare of the neighborhood or the City. The project is consistent with the site’s M2 – Industrial zoning and the City’s land use plans, as it is designed for typical industrial uses such as equipment rentals, sales, and minor repairs, which are appropriate for the area. The site’s history of industrial use, including equipment storage and repair, indicates that the “Heavy equipment rentals, sales and services, outdoor” land use aligns with existing land activities, minimizing potential disruptions. The development includes 41 vehicle parking stalls and 7 tractor/trailer parking stalls, ensuring ample parking for both employees and customers. The installation of a 9.5-foot-high chain link and wrought iron fence will secure the property, improving safety and privacy while fitting within the industrial setting. The project will comply with all safety standards and building codes addressing public health concerns. Additionally, the project will support the local economy by providing jobs and offering valuable services for the construction industry. Overall, the development will enhance the site without causing harm to the health, safety, or welfare of the surrounding area or City.

2. **Finding:** The “Heavy equipment rentals, sales and services, outdoor” land use will not be injurious to property or improvements in the neighborhood or within the City.

Facts in Support of Finding: The development at 21506 Main Street will not negatively affect nearby properties or improvements within the City. The project is designed to align with the industrial character of the area, which already includes similar operations such as equipment storage, sales, and repair. The addition of office buildings, parking spaces, and perimeter fencing will enhance the property without disrupting surrounding properties or infrastructure. Moreover, the new 9.5-foot-high chain link and wrought iron fence will bolster security, reducing the risk of unauthorized access or trespassing, thus safeguarding both the property and the neighboring area. The site improvements will also address the land’s previous underutilization, transforming it into a more active, functional industrial space. With upgrades to infrastructure and modern facilities, this development will contribute to the overall improvement of the area, potentially boosting the value and

EXHIBIT C

utility of surrounding properties. In summary, the development will be a positive addition to the neighborhood, without causing harm to any existing properties or improvements within the City.

3. **Finding:** The “Heavy equipment rentals, sales and services, outdoor” land use will be consistent with the latest adopted general plan.

Facts in Support of Finding: The “Heavy equipment rentals, sales and services, outdoor” land use is consistent with the latest adopted General Plan in several significant ways. It is in alignment with the land use and zoning classifications designated for the area, ensuring that industrial development is appropriate and compatible with surrounding uses. The project directly supports the General Plan’s objectives for fostering economic growth and job creation within designated industrial zones. Additionally, the development adheres to policies promoting efficient land use and infrastructure, ensuring that the site is adequately served by existing public utilities. By utilizing an underutilized site within an established urban area, the project helps reduce urban sprawl, consistent with the General Plan’s emphasis on in-fill development. Overall, the “Heavy equipment rentals, sales and services, outdoor” land use is fully in accordance with the General Plan’s vision and policies for balanced, sustainable development.

4. **Finding:** Conditions necessary to secure the purposes of this Chapter are made a part of the conditional use permit.

Facts in Support of Finding: The conditions of approval outlined in "EXHIBIT A" are incorporated into this project to ensure full compliance with the local zoning code and General Plan. These conditions guarantee that the development aligns with the city's regulatory framework. Additionally, they ensure that all necessary permits are obtained, and required fees are paid, reinforcing adherence to legal and procedural requirements. This comprehensive approach is designed to protect the integrity of the site while fostering responsible development.

5. **Finding:** The project is compliant with the California Environmental Quality Act (CEQA).

Facts in Support of Finding: Pursuant to CEQA Guidelines Section 15332, Class 32, this exemption applies to In-Fill Development Projects. This section covers projects on sites that have no value as habitat for endangered, rare, or threatened species, and are located on parcels of no more than five acres, which are substantially surrounded by urban uses. Additionally, the site must be adequately served by necessary public facilities and services, and the project must be consistent with the General Plan, its land use designation, and applicable regulations.

EXHIBIT D

FINDINGS OF APPROVAL FOR SITE AND ARCHITECTURAL REVIEW 24-04

**Equipment Share
21506 Main Street, Grand Terrace, CA 92313
(APN: 1167-111-09)**

As required by Section §18.63.060 of the Grand Terrace Municipal Code, approval of Site and Architectural Review 24-04 for approval to develop two 1,440 square-foot commercial modular units, 41 vehicle parking stalls, 7 tractor/trailer parking stalls, and install 9 ½ tall chain link and wrought iron fencing around the perimeter of the project site located on a 4.11 acre property located at 21506 Main Street (APN: 1167-111-09) as depicted on the comprehensive architectural design package included as “**EXHIBIT E**” of this Resolution; and, subject to the Conditions of Approval for Site and Architectural Review 24-04, which are included as “**EXHIBIT B**” to this Resolution and incorporated herein by this reference, is based on the following findings:

1. **Finding:** The project is consistent with the intent of this code and the general plan.

Facts in Support of Finding: The M2 Industrial District permits certain uses with a Conditional Use Permit, including "heavy equipment rental, sales and service, outdoor" and "modular units for business offices or headquarters purposes only." Within the Industrial Land Use designation, "Heavy equipment rentals, sales and services, outdoor" land use is a conditionally permitted use. The Applicant was required to obtain Conditional Use Permit 24-04. The commercial modular units also require approval of a conditional use permit and are included with Conditional Use Permit 24-04. The units will be used for the sale and lease of equipment, while the rest of the site will be dedicated to the display, stock, repair and storage of construction equipment. This "Heavy equipment rentals, sales and services, outdoor" land use aligns with the Grand Terrace Municipal Code and General Plan, subject to the issuance of a Conditional Use Permit.

2. **Finding:** The location and configuration of all structures associated with this Project are visually harmonious with this site and surrounding sites and structures, as they do not interfere with the neighbor's privacy and do not unnecessarily block scenic views from other structures and/or public areas and are in scale with the townscape and natural landscape of the area.

Facts in Support of Finding: The project site is situated out of public view, behind the Main Street Recycling LLC property, which faces Main Street. Access to the site is provided via a private road running along the City of Riverside canal on its west side. The Atchison Topeka and Santa Fe Railroad Co. rail line borders the eastern edge of the site. Industrial properties surround the project site to the north, south, and east. Both the two single-story modular buildings and the construction equipment stored on-site will be screened from view. Security fencing along the north, south, and eastern boundaries will stand 9 ½ feet tall and be covered with "grasstik" material to block visibility in and out. On the western side, wrought iron fencing will be installed, without the additional "grasstik" screening; however, an existing landscaped area will provide further visual cover when viewed from the canal. The site does not offer any scenic views of historical or cultural significance.

EXHIBIT D

3. **Finding:** The architectural design of structures, their materials and colors are visually harmonious with surrounding development, natural landforms, are functional for the Project and are consistent with this code.

Facts in Support of Finding: The two single-story commercial modular units will be installed using pre-fabricated building techniques. These units will adhere to the Grand Terrace Municipal Code Chapter 18.66.040, "Site Development Standards," as they will be new and within the required 10-year age limit. Additionally, the units will meet the exterior surface and roof design standards set forth in Chapters 18.66.070 and 18.66.080, respectively. By complying with these regulations, the commercial modular units will ensure visual harmony with the surrounding area.

4. **Finding:** The plan for landscaping and open spaces provides a functional and visually pleasing setting for the structures on this site and is harmonious with the natural landscape of the area and nearby developments.

Facts in Support of Finding: In accordance with the City's parking requirements, the parking area will incorporate refreshed landscaping and irrigation. This landscaped area will include "low-growing ground cover materials, with shrubs not exceeding three feet in height, and one fifteen-gallon tree for every five parking spaces." As a condition of approval, the applicant is required to submit a code-compliant landscape and irrigation plan, which will be reviewed by a city plan checker before the issuance of building permits. This will ensure that the vegetation in the landscaped parking area meets Municipal Code standards.

5. **Finding:** There is no indiscriminate clearing of property, destruction of trees or natural vegetation or the excessive and unsightly grading of hillsides, thus the natural beauty of the city, its setting and natural landforms are preserved.

Facts in Support of Finding: The site already features existing landscaping along the private access road located on the western boundary. The installation of the two commercial modular units, as well as the security fencing and parking stalls, will not require the indiscriminate clearing of property, destruction of trees, or removal of natural vegetation. The site is graded and flat, meaning there will be no need for the grading of a hillside. The project includes a requirement for a code-compliant landscape and irrigation plan, which must be reviewed by a city plan checker before the issuance of building permits. Overall, the development of the project will not result in the destruction of property, natural vegetation, or hillsides, ensuring that the natural features of the site are preserved.

6. **Finding:** The design and location of all signs associated with this project are consistent with the scale and character of the building to which they are attached or otherwise associated with and are consistent with this code.

Facts in Support of Finding: Since no signage is requested for this project at this time, it is important to note that any signage installed in the future will be designed and located to fully comply with all applicable local codes and regulations. This will ensure that the signage adheres to requirements related to safety, durability, and zoning. When considered, future signage will be carefully designed to be consistent with the scale and character of the building to which it is attached, complementing its architectural features and materials. The placement and size of any signage will respect the building's

EXHIBIT D

proportions, ensuring it enhances the visual appeal of the structure without overpowering or disrupting its design. Furthermore, future signage will be compatible with the surrounding environment, contributing positively to the overall streetscape and maintaining visual harmony with neighboring buildings. This approach guarantees that when signage is submitted for review, it will support the building's character and align with all relevant standards and guidelines.

7. **Finding:** Conditions of Approval for this project necessary to secure the purposes of this code and general plan are made a part of this approval.

Facts in Support of Finding: The conditions of approval outlined in "EXHIBIT B" are incorporated into this project to ensure full compliance with the local zoning code and General Plan. These conditions guarantee that the development aligns with the city's regulatory framework. Additionally, they ensure that all necessary permits are obtained, and required fees are paid, reinforcing adherence to legal and procedural requirements. This comprehensive approach is designed to protect the integrity of the site while fostering responsible development.

8. **Finding:** The project is compliant with the California Environmental Quality Act (CEQA).

Facts in Support of Finding: Pursuant to CEQA Guidelines Section 15332, Class 32, this exemption applies to In-Fill Development Projects. This section covers projects on sites that have no value as habitat for endangered, rare, or threatened species, and are located on parcels of no more than five acres, which are substantially surrounded by urban uses. Additionally, the site must be adequately served by necessary public facilities and services, and the project must be consistent with the General Plan, its land use designation, and applicable regulations.

EXHIBIT E

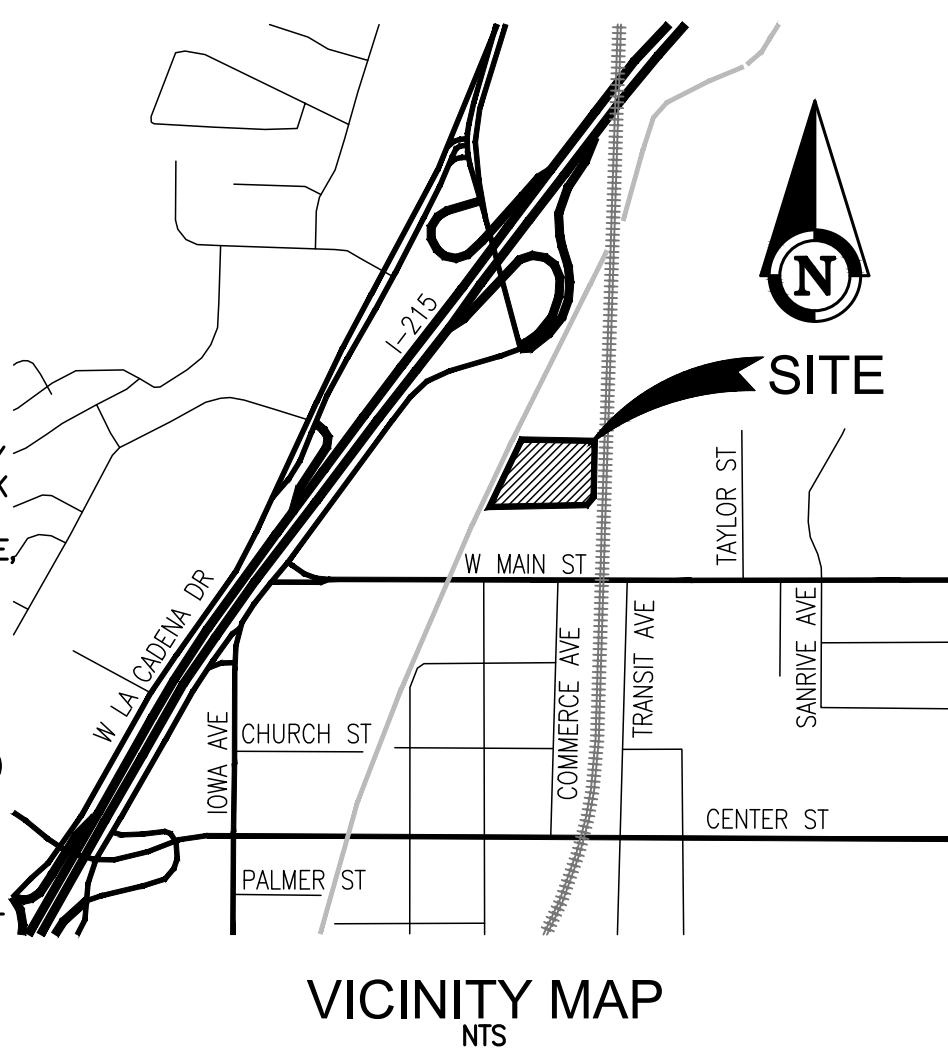
CITY OF GRAND TERRACE CONDITIONAL USE PERMIT

SITE PLAN FOR EQUIPMENT LEASING FACILITY
21506 MAIN STREET, GRAND TERRACE | APN NO. 1167-111-09

LEGEND

	PROP. AC		EXISTING LANDSCAPE AREA
	EXISTING GRAVEL		EXIST. AC
	EXIST. CONCRETE		PROPOSED LANDSCAPE AREA

APN 1167-111-08
MAIN STREET RECYCLING, LLC.



VICINITY MAP
NTS

SITE ADDRESS

21506 MAIN STREET
GRAND TERRACE, CA

OWNER

MAIN STREET RECYCLING, LLC.
12341 NEWPORT AVE #D-10
SANTA ANA, CA 92705

APPLICANT

EQUIPMENTSHARE
5710 BULL RUN DRIVE
COLUMBIA, MO 65201
PHONE #: (215) 588-6934
CONTACT: STEVE HAMILTON

BUSINESS CONTACT

LEE & ASSOCIATES
3240 MISSION INN AVENUE
RIVERSIDE, CA 92507
(909) 228-4748
ATTN: GRAD YOCUM
CYOCUM@LEERIVERSIDE.COM

ASSESSOR'S PARCEL NO.

1167-111-09

SITE ACREAGE

GROSS ACREAGE = 4.11 ACRES
NET ACREAGE = 4.07 ACRES

TOPOGRAPHY

TOPOGRAPHY HAS BEEN GENERATED FROM AERIAL TOPOGRAPHY,
FLYNN ON JUNE 16, 2024.

ZONING/LAND-USE

EXISTING ZONING: M2-INDUSTRIAL
PROPOSED ZONING: M2-INDUSTRIAL

SURROUNDING ZONING

NORTH: M2 INDUSTRIAL SOUTH: M2 INDUSTRIAL
EAST: M2 INDUSTRIAL WEST: COMMERCIAL

GENERAL PLAN

LAND-USE: INDUSTRIAL

TITLE REFERENCE

FIRST AMERICAN TITLE INSURANCE COMPANY
3281 E. GUSTI ROAD, SUITE 440
ONTARIO, CA 91761
(909) 510-6207
ATTN: MATTHEW HOOKS, TITLE OFFICER
ORDER NO. NCS-916917-ONT1
DATED: AUGUST 22, 2018

GENERAL NOTES

USE OF THE PREMISES SHALL BE FOR GENERAL OFFICE, EQUIPMENT
RENTALS, SALES, REPAIR, AND STORAGE YARD, PARKING OF TRUCKS,
VEHICLES, CONSTRUCTION EQUIPMENT, AND RELATED ITEMS.

HOURS OF OPERATION:
3AM TO 8PM MONDAY - SATURDAY

NUMBER OF EMPLOYEES: 12

TYPE OF EQUIPMENT ON SITE:
AERIAL WORK PLATFORMS, EARTH MOVING EQUIPMENT SUCH AS
LOADERS, BACKHOES, EXCAVATORS, AND GRADERS AND MATERIAL
HANDLERS, SUCH AS FORK LIFTS, CRANES, AND TELEHANDLERS.

NO PROPOSED ON-SITE LIGHTING, CAMERAS, FENCING, BAZOIR-WIRE TO BE INSTALLED
ON SITE. EXISTING LIGHTS ON BUILDINGS AND BULLHORN LIGHTS ON EXISTING
POLES TO REMAIN. SEE PLAN VIEW FOR LOCATIONS.

FENCING UNDER SEPARATE PERMIT.
PARKING STRIPING AND REPAIRING UNDER SEPARATE PERMIT.
FOUNDATION AND FOOTINGS TO BE INSTALLED PER STRUCTURAL PLANS AND UNDER
SEPARATE PERMIT.

LANDSCAPE: LOW GROWING GROUND COVER MATERIALS, SHRUBS NOT TO EXCEED
THREE FEET IN HEIGHT AND ONE FIFTEEN-GALLON TREE FOR EVERY FIVE PARKING
SPACES, AT LEAST 3 TREES TO BE INSTALLED.

DATE PLOTTED: 2024-10-24

CITY OF GRAND TERRACE
CONDITIONAL USE PERMIT
21506 MAIN STREET | APN NO. 1167-111-09
SITE PLAN FOR EQUIPMENTSHARE, INC.

SHEET
1
OF
1

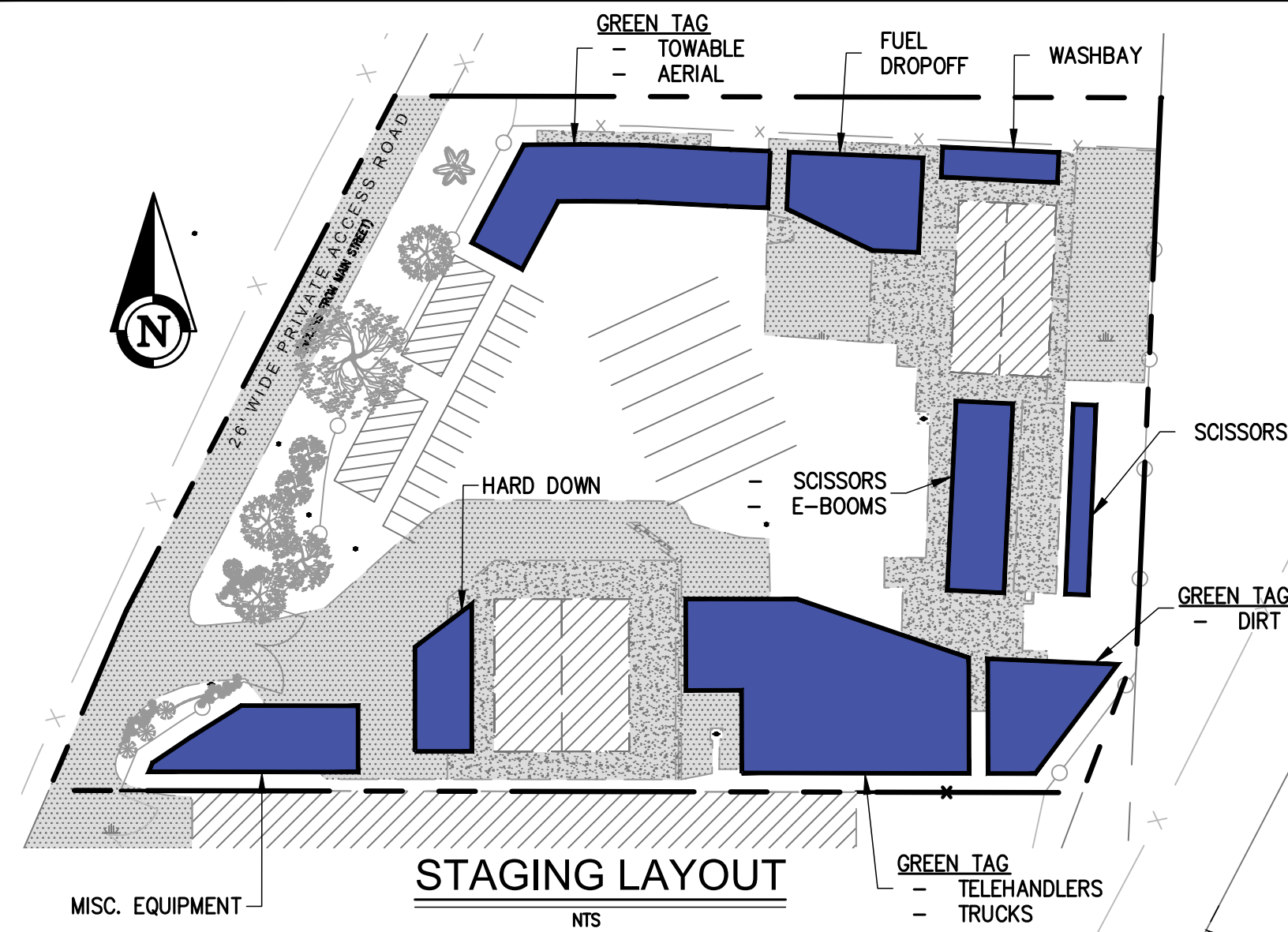
PROJECT NO.
#06-0001
CITY NO.
-

PREPARED FOR:
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COMMERCIAL REAL ESTATE SERVICES
3240 MISSION INN AVENUE
RIVERSIDE, CALIFORNIA 92507
(909) 276-3625 | CYOCUM@LEERIVERSIDE.COM

PREPARED BY:
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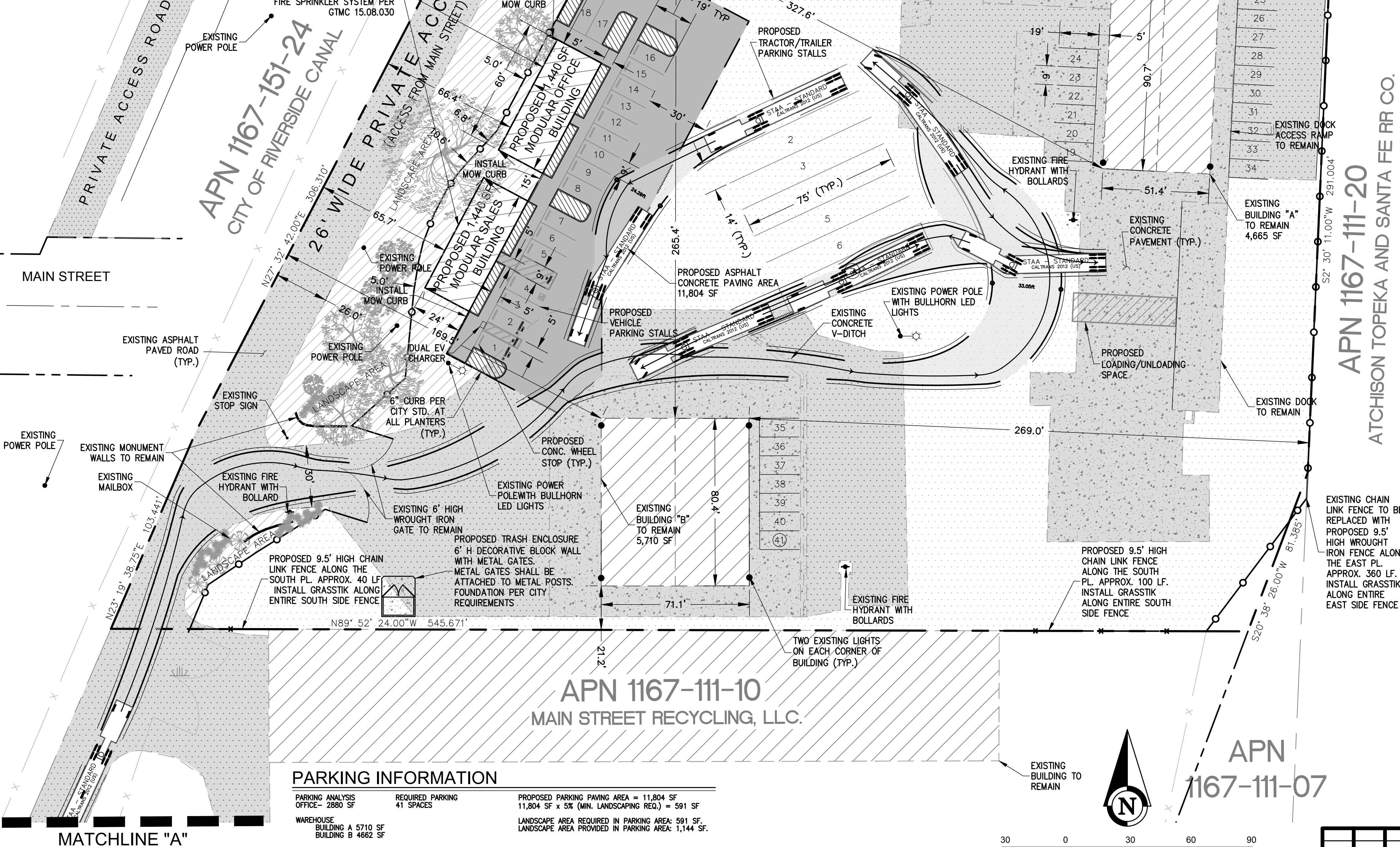
Date	By	REVISIONS	App'd

SCALE 1" = 30'



STAGING LAYOUT
NTS

SCALE: 1" = 40'



PARKING INFORMATION

PARKING ANALYSIS OFFICE - 2880 SF WAREHOUSE BUILDING A 5710 SF BUILDING B 4662 SF	REQUIRED PARKING 41 SPACES	PROPOSED PARKING PAVING AREA = 11,804 SF 11,804 SF x 5% (MIN. LANDSCAPING REQ.) = 591 SF LANDSCAPE AREA REQUIRED IN PARKING AREA: 591 SF. LANDSCAPE AREA PROVIDED IN PARKING AREA: 1,144 SF.
---	-------------------------------	---

1. LOADING/DOCKING SPACE PROVIDED AT BUILDING A
2. EV PARKING SPACE PROVIDED (PARKING STALL #1 AND #2)
1. ADA PARKING SPACE PROVIDED (PARKING STALL #4)
TOTAL PARKING SPACES PROVIDED = 41

MATCHLINE "A"

APN 1167-111-07

APN 1167-111-20
ATCHISON TOPEKA AND SANTA FE RR CO.

APN 1167-111-10
MAIN STREET RECYCLING, LLC.



SHEET INDEX

TITLE PAGE

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FLOOR PLAN

CONSTRUCTION NOTES

GENERAL NOTES

FINISH SCHEDULE

DOOR SCHEDULE

WINDOW SCHEDULE

STATE APPROVAL

SHEET NO: A-2.0

REFLECTED CEILING PLAN

REFLECTED CEILING DETAILS

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EXTERIOR ELEVATIONS

EXTERIOR PAINT SCHEDULE

SHEET NO: E-1.0

ELECTRICAL PLAN

ELECTRICAL SCHEDULE

ELECTRICAL PANELS

SHEET NO: M-1.0

MECHANICAL SCHEDULES

MECHANICAL PLAN

SHEET NO: P-0.5

ADA NOTES

SHEET NO: P-1.0

PLUMBING PLAN

PLUMBING SCHEDULE

PLUMBING ISOMETRIC

PLUMBING DETAILS

MAIN STREET RECYCLING
GRAND TERRANCE

BUILDING SIZE:
28'-0" x 60'-0"

BUILDING DATA	
NUMBER OF STORIES:	1-STORY
BUILDING HEIGHT:	12'-10 5/8"
BUILDING AREA:	1,680 SQ. FT.
FIRE SPRINKLERS:	☒ NOT REQUIRED ☐ REQUIRED
OCCUPANCY / USE:	B: (OFFICE)
OCCUPANCY LOAD:	17 MAXIMUM. WILL HAVE EXIT(S) AS INDICATED
DESIGN LOADS	
TYPE OF CONSTRUCTION:	VB
FLOOR LIVE LOAD:	50 PSF
ROOF LIVE LOAD:	20 PSF
ASSUMED ENERGY CEC CLIMATE ZONE:	14
WUI AREA:	☒ NO

GENERAL NOTES	
1. THIS STRUCTURE IS NOT TO BE LOCATED LESS THAN 10 FEET FROM ACTUAL OR ASSUMED PROPERTY LINES OR DETERMINED BY REQUIREMENTS AT THE BUILDING SITE BASED ON LOCAL AND/OR STATE BUILDING CODE PER 2022 CBC 706.3	
2. SEPARATE TOILET FACILITIES TO BE PROVIDED FOR EACH SEX IN ADJACENT BUILDING(S) ON SAME PROPERTY IF ADEQUATE TOILET FACILITIES ARE NOT PROVIDED IN BUILDING.	
3. THIS PLAN MAY BE REVERSED AND OR MIRRORRED.	
4. LANDINGS AT EXIT DOORWAYS SHALL COMPLY WITH SECTION 1026 OF THE 2022 CBC.	
6. ROOF COVERING SYSTEM SHALL BE PER CHAPTER 15 OF THE 2022 CBC	
7. ALL WORK SHALL CONFORM TO TITLE 24, CALIFORNIA CODE OF REGULATIONS (CCR)	
8. EXTERIOR WALL OPENINGS TO COMPLY WITH 705.8, 2022 CBC.	
10. GLAZING SHALL COMPLY WITH CCR TITLE 25, CHAPTER 3, SECTION 4371	
11. BUILDING VOC LIMITS SHALL BE IN COMPLIANCE WITH TABLE 5.504.4.1 & 5.504.4.2	
12. BUILDING SITE ADDRESS: _____	
13. SITE CONTACT: _____	

DOOR & WINDOW NOTES	
1. ALL EXIT DOORS SHALL BE OPERABLE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.	
2. DOOR THRESHOLDS SHALL BE BEVELED WITH A MAXIMUM EDGE HEIGHT OF 1/4" WITH A BEVELED SLOPE OF 0.1 MORE THAN 1/2" AND A TOTAL HEIGHT OF 1/2".	
3. THE MINIMUM SWEEP PERIOD FOR DOOR CLOSER WHEN USED SHALL BE 3 SECONDS FROM OPEN POSITION AT 70 DEGREES TO A POINT 3" FROM DOOR HATCH.	
4. THE OPENING FORCE FOR INTERIOR HINGED DOORS AND SLIDING DOORS OR FOLDING DOORS SHALL NOT EXCEED 5 LBS.	
5. ALL DOOR AND WINDOW GLAZING SHALL COMPLY WITH CBC SECTION 2406 SAFETY GLAZING AND SPECIFICALLY ALL GLASS paneled DOORS AND SIDE LIGHTS, ALL GLAZING WITHIN 24" OF DOOR JAMBS, ALL GLAZING LESS THAN 18" HIGH.	

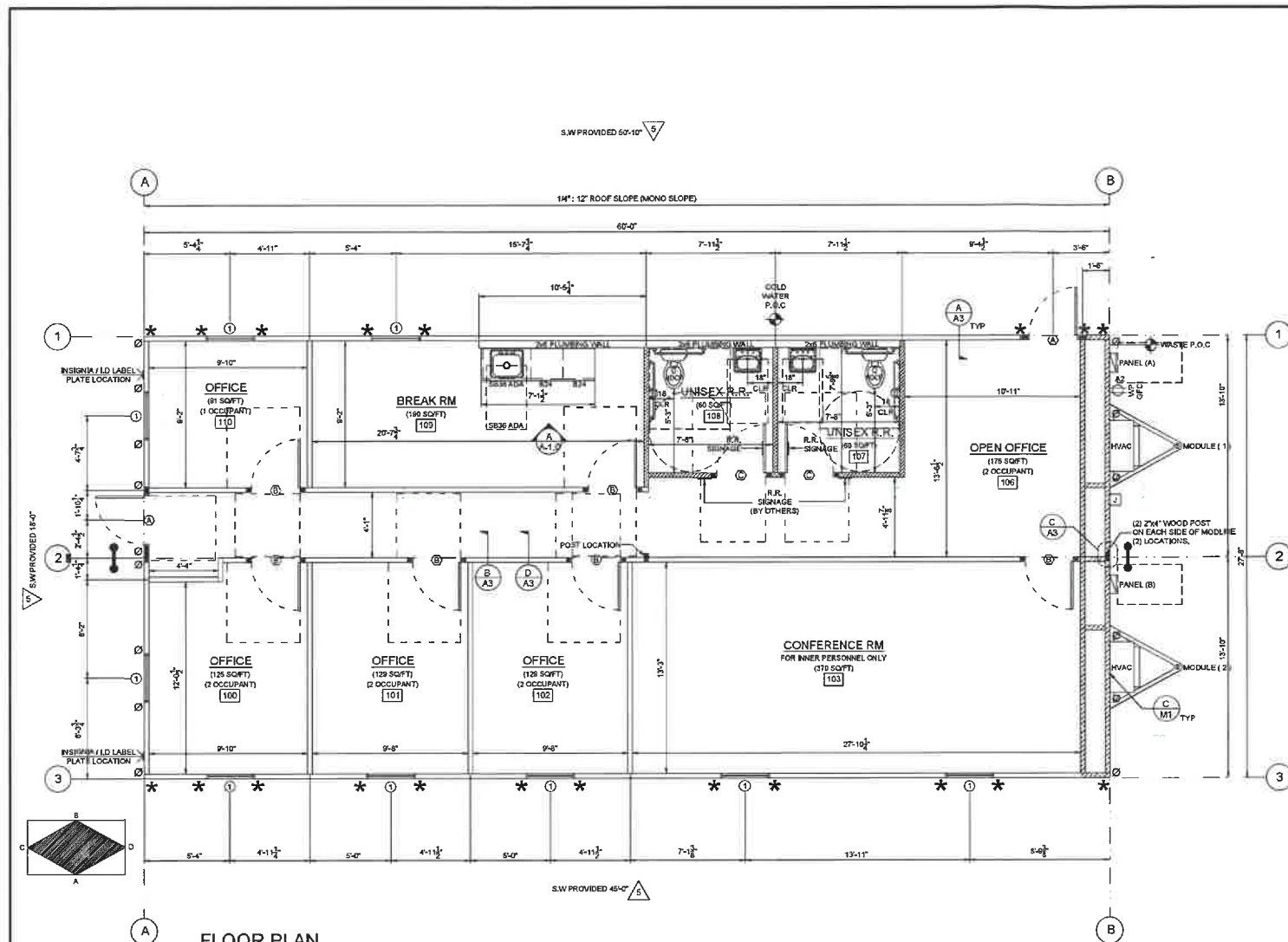
ABBREVIATIONS	
A.B. ANCHOR BOLT	LAV. LAVATORY
A.C. AIR CONDITIONING	LOW-E LOW EMISSIVITY
A.F.F. ABOVE FINISHED FLOOR	M.C. MEDICINE CABINET
APN ASSESSORS PARCEL NUMBER	MIN. MINIMUM
A. AND	(N) NEW
BEDRM. BEDROOM	NO. NUMBER
B.S.L. BUILDING SETBACK LINE	O.C. OFF-CENTER
CALC. CALCULATION	OSB ORIENTED STRAND BOARD
CBC CALIFORNIA BUILDING CODE	P.U.E. PUBLIC UTILITY EASEMENT
CEC CALIFORNIA ENERGY CODE	P.S.F. POUNDS PER SQUARE FOOT
CL CENTERLINE	R/A RETURN AIR
COND. CONDENSER	REF. REFRIGERATOR
DBL. DOUBLE	RD. ROAD
D.F. DOUGLAS FIR	S.C. SOLID CORE
D.P. DUAL PANE	S.F. SQUARE FEET
D.W. DISHWASHER	S.G.D. SLIDING GLASS DOOR
(E) EXISTING	SHWR. SHOWER
F.L. FINISHED FLOOR	SQ. FT. SQUARE FEET
FR. FINISHED FLOOR	STM. SYMBOL
FTG. FOOTING	U.P.C. UNIFORM PLUMBING CODE
GLV. GALVANIZED	V.T.R. VENT TO ROOF
G.P.A. GALLONS PER MINUTE	W.C. WATER CLOSET
H.B. HOSE BIB	WJ. WITH
H.C. HOLLOW CORE	W.H. WATER HEATER
H.S. HORIZONTAL SLIDER	
APPLICABLE CODES	
LIST OF 2022 CALIFORNIA CODE OF REGULATIONS • PART 1, CALIFORNIA ADMINISTRATIVE CODE • PART 2, CALIFORNIA BUILDING CODE • PART 3, CALIFORNIA ELECTRICAL CODE • PART 4, CALIFORNIA MECHANICAL CODE • PART 5, CALIFORNIA PLUMBING CODE • PART 6, CALIFORNIA ENERGY CODE • PART 7, CALIFORNIA FIRE CODE • PART 8, CALIFORNIA GREEN BUILDING STANDARD CODE • PART 9, CALIFORNIA GREEN BUILDING STANDARD CODE • PART 10, CALIFORNIA GREEN BUILDING STANDARD CODE • PART 11, CALIFORNIA GREEN BUILDING STANDARD CODE • PART 12, CALIFORNIA REFERENCED STANDARDS	

WIND DESIGN DATA	
1. BASIC WIND SPEED, ULTIMATE (MPH):	115
2. WIND IMPORTANCE FACTOR:	1
3. WIND EXPOSURE:	"C"
EARTHQUAKE DESIGN DATA	
1. SEISMIC IMPORTANCE FACTOR:	1
2. MAPPED SPECTRAL RESPONSE:	
S _s = 2.5 (FOR BASE SHEAR)	S ₁ = 1.0
3. SITE CLASS	D
4. SPECTRAL RESPONSE COEFFICIENTS:	
S _{DS} = 2.0	S _{D1} = 1.13
5. SEISMIC DESIGN CATEGORY:	E
6. BASIC SEISMIC-FORCE-RESISTING-SYSTEM:	SHEARWALL
7. SEISMIC RESPONSE COEFFICIENT, C _s :	0.306
8. RESPONSE MODIFICATION FACTOR, R:	6.5
9. ANALYSIS PROCEDURE USED:	EQUILIBRIUM LATERAL FORCE
10. MINIMUM SEISMIC SEPARATION FROM OTHER EXISTING OR FUTURE BUILDINGS	6" SEP.

SCOPE OF WORK	
AMCO TO PROVIDE A 1,680 SQ. FT. SINGLE STORY MODULE. THE MODULAR BUILDING WILL BE CONSTRUCTED USING PRE-FABRICATED TECHNIQUES AND INSPECTED ON AT THE FACTORY. COMPLETION OF MODULAR BUILDING WILL BE ON SITE. ITEMS COMPLETED ON SITE T-BAR EXTERIOR SIDING ELECTRICAL CROSSOVERS ELECTRICAL CONNECTIONS DRINKING FOUNTAIN ON SITE BY OTHERS, NOT CMJM PLUMBING CONNECTIONS PLUMBING MANIFOLD FOUNDATION, ELECTRICAL SERVICES AND SITE UTILITIES UNDER SEPARATE PERMIT BY OWNER.	

PLAN APPROVAL STAMP	
PLAN APPROVED W/ NO CHANGES	SIGN AND DATE
PLAN APPROVED AS NOTED	
PLANS NOT APPROVED - REVISE AS NOTED & RESUBMIT	

DRAWING TITLE: TITLE PAGE	
PROJECT NAME: 28'-0" x 60'-0" MAIN STREET RECYCLING	
DATE: 07 / 11 / 2024	
SCALE: 1/4" = 1'-0"	
DRAWN BY: A.F.	
JOB NUMBER	
SHEET NUMBER: TP	



FLOOR PLAN

SCALE: 1/4" = 1'-0"

NOTE: DIMENSIONS DO NOT INCLUDE WALL COVERING. ALL DIMENSIONS ARE FROM RAW STUD TO RAW STUD UNLESS OTHERWISE NOTED (CLEAR).

NOTE: MATCHING DENOTES: RETURNED AIR CHASE TO BE LINED WITH MATERIAL WITH FLAME SPREAD INDEX NOT EXCEEDING 25 & SMOKE DEVELOPMENT NOT EXCEEDING 50. ALL GYPSUM PRODUCTS SHALL HAVE A MOLD OR MILDWEAR RESISTANT SURFACE FOR DUCTS NOT EXCEEDING 125 DIA.

NOTE: HATCHING DENOTES FULL HEIGHT WALLS. FULL HEIGHT B.I. INSULATION TO BOTTOM OF RAFTERS w/ 1/2" RAW GYP. REMAINDER OF WAYS TO RAFTERS.

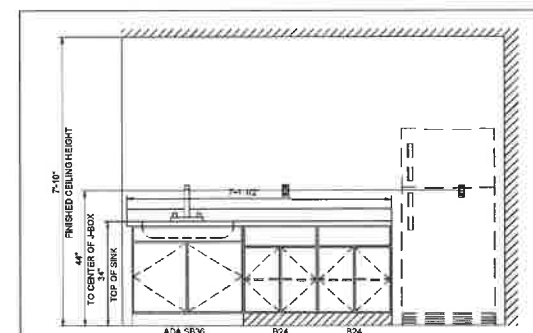
FINISH SCHEDULE		
	INTERIOR	REMARKS
FLOOR:	1. 280 SHEET VINYL (8' SELF COVE) W/ HEAT WELDED SEAMS. (R.R.S. ONLY) BRAND: MANNINGTON COLOR:	
	2. BARE FLOOR. (REMAINDER OF BUILDING) (FLOOR PREP, COVERING, AND BASE SUPPLIED & INSTALLED ON SITE BY OTHERS)	
BASE:	1. 8' SELF COVE SHEET VINYL. (R.R.S. ONLY) BRAND: COLOR: TO MATCH FLOOR COVERING.	
	2. N/A. (REMAINDER OF BUILDING) (FLOOR PREP, COVERING, AND BASE SUPPLIED & INSTALLED ON SITE BY OTHERS)	
WALLS:	1. 1/2" x 4" P.F.P. OVER 1/2" MILD GREEN BOARD GYP TO CEILING HGT. w/ 1/2" RAW GYP. REMAINDER OF WAY TO RAFTERS. (R.R.S. ONLY) COLOR:	
	2. 1/2" VINYL COVERED GYP (C.G.) TO CEILING HGT. w/ 1/2" RAW GYP. REMAINDER OF WAY TO RAFTERS (REMAINDER OF BUILDING) COLOR:	
TRIM:	1. STANDARD PLASTIC P.F.P. TRIM. (R.R.S. ONLY) COLOR: TO MATCH WALL COVERING.	
	2. VINYL COVERED TRIM. (REMAINDER OF BUILDING) COLOR: TO MATCH WALL COVERING.	
CEILING:	1. 2 x 4 SUSPENDED CEILING w/ HD CEILING. 7'-10" A.F.F. (ROOM TO ROOM) 7550 w/ EQUAL COLOR: WHITE	

DOOR SCHEDULE													
SYM	SIZE	THK	DOOR		JAMB		WALL		HRD	FIN	QTY	ROUGH OPENING	REMARK
			MAT	PLY	MAT	PLY	MAT	GRIP					
Ⓐ	3070	1 3/4"	15ga	HM	15ga	KD	4 1/2"	1	2	2	38" x 82"	KD DOOR	
Ⓑ	3058	1 3/8"	WOOD	HC	20ga	TIMELV	4 1/2"	2	2	2	37 1/2" x 81 1/4"		
Ⓒ	3058	1 3/4"	WOOD	SC	20ga	TIMELV	4 1/2"	3	2	2	37 1/2" x 81 1/4"	DOOR HDC SIGNS	
HARDWARE GROUP:											FINISH GROUP:		
NOTE: DOOR HANDLES TO BE WINDOW ACCESSIBLE													
1. HEAVY DUTY COMMERCIAL GRADE 2 PASSAGE LEVERSET 3 HINGERS DUTY GRADE 2 SINGLE CYLINDER DEADBOLT CLOSER, CLOSER, DRIP CAP, WEATHER STRIPPING THRESHOLD, DOOR BOTTOM (1) 4 1/2" HPP PINNIE, (2) 4 1/2" STD HINGES,													1. SEMI-GLOSS ENAMEL: EXT. DOOR COLOR: . INT. DOOR COLOR: . EXT. JAMB COLOR: . INT. JAMB COLOR: .
2. COMMERCIAL GRADE 2 PASSAGE LEVERSET (2) STD HINGERS, WALL MOUNTED DOOR STOP,													2. PREFERRED WOODGRAIN: DOOR COLOR: . JAMB COLOR: .
3. COMMERCIAL GRADE 2 PRIVACY LEVERSET (2) STD HINGERS, WALL MOUNTED DOOR STOP, (NOTE: RESTROOM DOOR SHALL BE SELF-CLOSING)													W/ALUT BROWN/TONE

WINDOW SCHEDULE								
SYM	SIZE	WINDOW TYPE	FRAME	GLASS	QTY	ROUGH OPENING	REMARK	
①	3030	VERTICLE SLIDER	WHITE VINYL	DUAL GLAZE LOWE	9	38" x 38"		
WINDOW HEADER HEIGHT						MISCELLANEOUS		
EXTERIOR WINDOW: 81 1/4"								

SHEAR WALL SCHEDULE	
SYMBOL	SHEAR REQUIREMENTS
Ⓐ	3/8" LF SHARP PANEL SDR10. FASTENED w/ 6014S AT 7" O.C. EDGES & 17" O.C. HOLD
Ⓑ	HOLD DOWNS
Ⓒ	EDGEMOLD HOLD DOWNS - DEL TYPE "A" STRAP (SEE DETAIL 104-F-9)
Ⓓ	SDRYVAL HOLD DOWNS - DEL SIMPSON STRAP (SEE DETAIL 204-F-9)
Ⓔ	ROOF DIAPHRAGM
Ⓕ	1502 CD4 OR G28 (M&E 471) HANGING SHALL BE 10 @ 7" O.C. & 12" F.R.
Ⓖ	CHORD TIE
Ⓗ	SIMPSON 372115 SHARP 1201502 AT 12" O.C. FASTENED TO DEL B-I0 RAFTER w/ 10 @ 12" O.C. (SEE DETAIL 104-F-11) (SHELL USE FOR ON SITE INSTALLATION BY OTHERS)

CONSTRUCTION NOTES	
CHASSIS:	
DIMENSION:	(2) 113'-10" x 57'-4"
FRAME:	OUTRIGGER
BEAM TYPE:	M10 x 9.0
OR / CM / MC:	8' 8" / 8'
HITCH:	DETACHABLE
AXLE:	QUAD
W- B:	ALL WHEEL BRAKES
TIRES:	800/16-PLY (NEW)
FLOOR:	
JOIST:	2" x 10" DF-L#2 OR BETTER
SPACING:	16" O.C.
DECKING:	3/4" T&G PLYWOOD (APA RATED)
INSULATION:	R30 UNFACED
BTM CLDS:	REINFORCED PLASTIC BOTTOM BOARD WEATHER/RODENT BARRIER
SPECIAL NOTES:	
EXTERIOR WALLS:	
STUDS:	2" x 4" DF-L#2 OR BETTER
S.S. HEIGHT:	119"
SPACING:	16" O.C.
BALLOON:	SIDE WALLS
FLAT:	END WALLS
TOP PLATE:	DBL 2x TOP PLATE HF #2 OR BETTER
INSULATION:	R13 UNFACED (NON-FORMALDEHYDE)
SIDING:	7/16" LP SMART PANEL SIDING
GROOVES:	8" O.C.
HOUSEWRAP:	(YES) UNDER EXTERIOR SIDING
SPECIAL NOTES:	
SIDING TO OVERLAP RIM JOIST @ MIN. 1 1/2"	
INTERIOR WALLS:	
STUDS:	2" x 4" DF-L#2 STUD GRD OR BETTER
SPACING:	16" O.C.
FULL HT:	RESTROOM WALLS ONLY
FLAT:	ALL WALLS
TOP PLATE:	DBL 2x SGL AS NEEDED DF-L#2 STUD
INSULATION:	R13 UNFACED (R.R. WALLS ONLY)
ROOF:	
ROOF CVR:	.045" EPDM OVER 1/4" DENSDECK UNDERLAYMENT
COLOR:	WHITE
RAFTER:	2" x 8" DF-L#2 OR BETTER
ROOF SLOPE:	1/4" / 12" (MONO SLOPE)
SPACING:	16" O.C.
SHEATHING:	APA RATED SHEATHING (SEE SCHEDULE FOR SIZE & FASTENING)
INSULATION:	R30 UNFACED (NON-FORMALDEHYDE)
RIDGE BEAM (PLYWOOD):	
LOAD:	20 lb
PEEK HT:	48"
HEEL HT:	31"
POST SIZE:	(2) 2x4 HF #2 OR BETTER
TOP OF CHASSIS TO BOTTOM OF TRUSS:	8'-11 3/4"



A BREAK ROOM ELEVATION

SCALE: 1/2" = 1'-0"

DRAWING TITLE: FLOOR PLAN & SCHEDULES

PROJECT NAME: 28'-0" x 60'-0" MAIN STREET RECYCLING

DATE: 07 / 11 / 2024
SCALE: 1/4" = 1'-0"
DRAWN BY: A.F.
JOB NUMBER

SHEET NUMBER: A-1.0



5753 SANTA ANA CANYON STE #137
PHOENIX, AZ 85044
PHONE 714-633-7886

HATCHING DENOTES SHIP LOOSE T-GRID & TILES
FOR SITE INSTALLATION BY OTHERS.



NOTE: T-GRID CEILING TO BE ROOM TO ROOM

Diagram illustrating a wire mesh structure with various annotations:

- WIRE @ 4'-0" EA. WAY MIN. 3 TIGHT TURNS IN 1-1/2"** EACH END OF WIRE SHALL NOT BE MORE THAN 1" OUT OF PLUMB UNLESS COUNTERSINKING WIRES ARE PROVIDED.
- 12 GA. SLACK SAFETY WIRE @ DIAGONAL CORNERS ATTACHED TO STRUCTURE ABOVE.**
- 12 GA. SLACK WIRE W/ MIN. 4 TIGHT TURNS IN 1-1/2" EACH END OF WIRE (TYP)**
- 45° MAX. TYP.**
- MAIN RUNNER**
- CROSS RUNNER**
- LIGHT OR AIR TERM.**
- ATTACH LIGHT OR AIR TERMINAL TO GRID W/ #10 SM SCREW OR APPROVED CLIP IN ADDITION PROVIDE 212 GA. SLACK SAFETY WIRE @ DIAGONAL CORNERS ATTACHED TO STRUCTURE ABOVE.**
- SEE "X" NOTE ABOVE.**
- ATTACH SLACK WIRE TO MAIN RUNNERS 2" MAX. FROM CROSS RUNNER INTERSECTION-TYP**

NOTE:

- (A) 14 OF THE LENGTH OF THE RUNNER WHICH EVER RELEASED.
- (B) NAILS AT ENDS OF HORIZONTAL STRUTS ARE TO BE PLACED WITH NAIL HEAD TOWARD OF SPAN OF STRUT.
- (C) "HEAVY DUTY" SYSTEMS ARE USED, NUMBER 12 CABLE HANDERS SHALL BE ATTACHED TO EACH END OF EACH MEMBER WITH A "WIGWAG" MODULAR PATTERN. UNLESS PERMETER MEMBER ARE LISTED AS STRUCTURAL MEMBERS, EACH MAIN OR CROSS RUNNER SHALL BE NUNG TO EACH END OF EACH MAIN MEMBER WITH TWO 12# CABLE HANDERS.
- (D) WIRES SHALL NOT BE ATTACHED TO OR BEND AROUND INTERFERING MATERIAL OR EQUIPMENT AND SHALL BE SPACED A MIN. OF 6" FROM ALL HORIZONTAL PIPING OR DUCT WORK. TWISTED OR EQUIVALENT JOINTS SHALL BE USED WHERE OBSTRUCTIONS PRECLUDE DIRECT SUSPENSION.
- (E) THE VERTICAL COMPRESSION STRUT/SLIP WIRES SHALL BE PLACED NOT MORE THAN 12" FROM EACH END OF EACH MEMBER. THE FIRST POINT SHALL BE 4" FROM EACH END OF EACH MEMBER.
- (F) MAINS AND CROSS-TEES ARE PERMITTED TO BE ATTACHED TO PERIMETER WALL ANCHORS.
- (G) PERIMETER WALLS SHALL BE PERMITTED TO BE ATTACHED TO PERIMETER WALLS MAX.

SCALE: N.T.S.

SCALE: N.T.S.

NOTE: NO STABILIZER BARS REQ'D WITH CLIP

SCALE: N.T.

12GA HANGER WIRE TO WALL OR BEAM WHERE NO RAFTER ABOVE OCCURS, MAX SLOPE 1 (HORIZONTAL) TO 8 (VERTICAL)

ALTERNATE

STABILIZER BAR SHALL RUN CONTINUOUS AT ALL FREE SIDE PERIMETERS WITHIN 12" FROM WALL, SNAP TIGHT TO RUNNER OR CROSS TEE TO PREVENT MOVEMENT OF BAR

TOP PLATE

INSULATION PER PLAN

FASTENER

FIRE BLOCKING AT CEILING LEVEL (IF REQ'D), SEE NOT ON REFLECTED CEILING PLANS

7/8" ANGLE W/ BUSH CLIP TO RUGHT-HAND

1/2" MAX OR 1/4" LENGTH OF END RUNNER WHICHEVER IS LESS

1" (MAX) 8

COUNTER SLOPE WIRE WHERE HANGER WIRES ARE MORE THAN 10" APART TO (VERTICAL) OUT OF PLUMB

3/4" CLR

MAIN RUNNER OR CROSS TEE

SCALE

SCALPENTS

125A HANGER WIRE TO WALL OR BEAM WHERE NO RAFTER ABOVE OCCURS. MAX SLOPE 1 (HORIZONTAL) TO 8 (VERTICAL)

8" MAX OR 1/4 LENGTH OF END RUNNER WHICHEVER IS LESS

1 (MAX) 8

COUNTER SLOPE WIRE WHERE HANGER WIRES ARE MORE 1 HORIZONTAL TO 8 (VERTICAL) OUT OF PLUMB

TOP PLATE

INSULATION PER PLAN

FASTENER

FIRE BLOCKING AT CEILING LEVEL (IF REQ'D, SEE NOTE ON REFLECTED CEILING PLANS)

7/8" ANGLE WITH 1/8" DIA POP RIVET TO EACH T-BAR

MAIN RUNNER OR CROSS TEE

SCALE: N.T.S.

SCALE: N.T.

Diagram illustrating the installation of a clip on a wall angle. The clip is secured to the wall angle with a screw. The clip is then attached to the main runner or cross tie. The diagram shows the clip being secured to the wall angle with a screw. The clip is then attached to the main runner or cross tie.

Labels and dimensions:

- NO SCREWS REQ'D WHEN SECURING CLIP TO WALL
- 8" MAX
- WALL ANGLE
- HANGER WIRE
- MAIN RUNNER OR CROSS TIE
- 3/4"
- 7/8"
- LOOSE FASTENER
- 3/4"

NOTE: NO STABILIZER BARS REQ'D WITH CLIP

SCALE: N/T

NOTE: NO STABILIZER BARS REQ'D WITH CLIP

SCALE: N.T.

SCALE: N.T.S.

DRAWING TITLE:
REFLECTED CEILING PLAN
& SCHEDULES

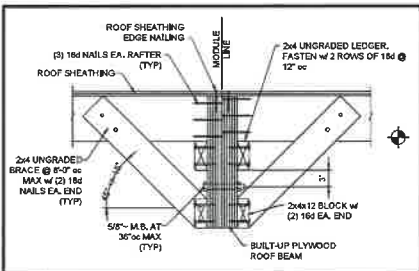
PROJECT NAME:
28'-0" x 60'-0"
MAIN STREET RECYCLING

<u>DATE:</u>	07 / 11 / 2024
<u>SCALE:</u>	1/4" = 1'-0"
<u>DRAWN BY:</u>	A.F.
<u>JOB NUMBER</u>	

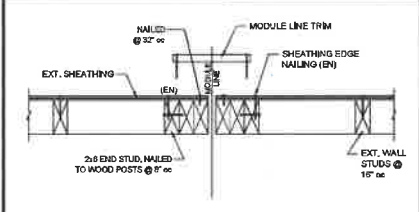
SHEET NUMBER
A-2.0

3753 SANTA ANA CANYON STE #137
ANAHEIM, CA 92807
PHONE: 714-863-7686

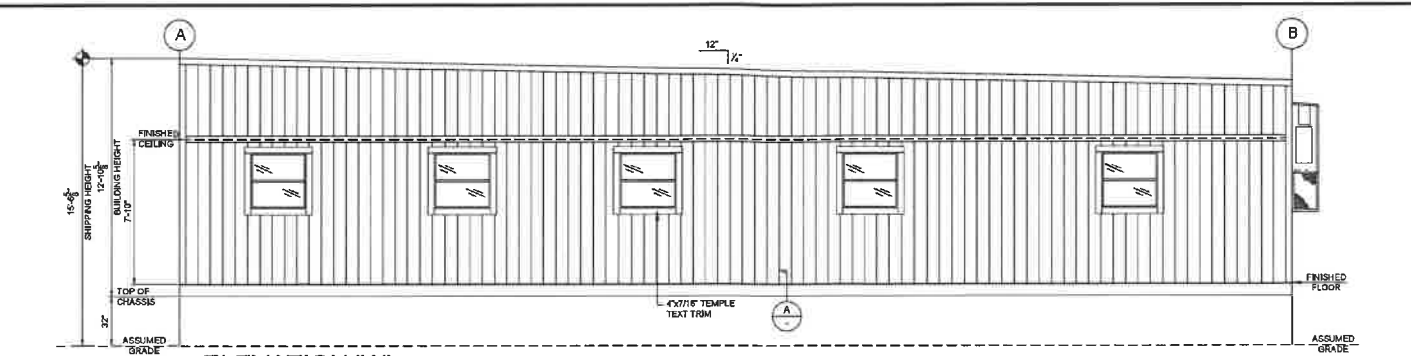




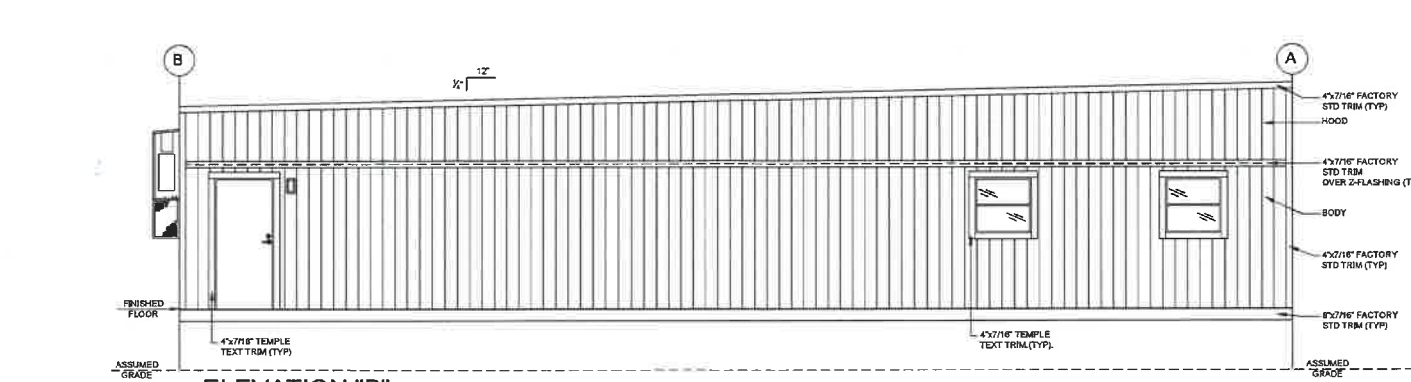
C ROOF TO ROOF MATE-UP
SCALE: N.T.S.



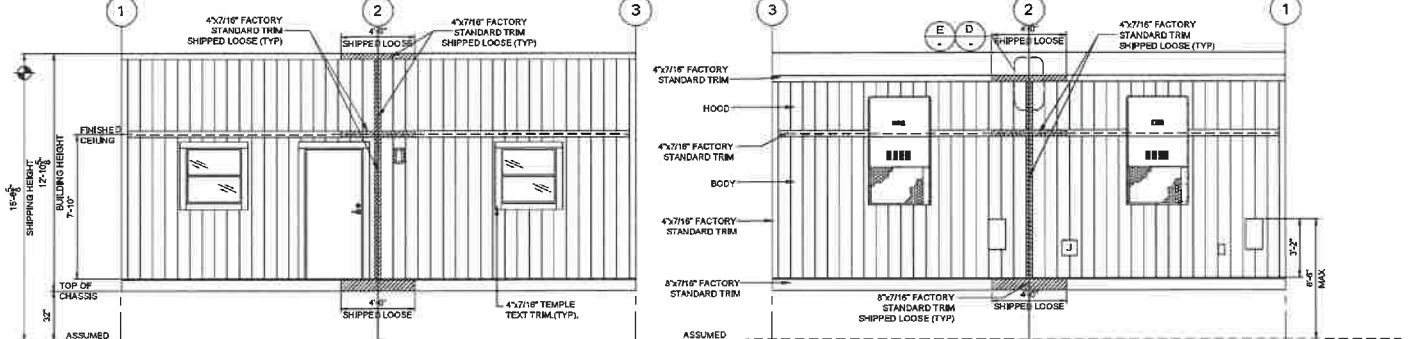
D WALL TO WALL MATE-UP
SCALE: N.T.S.



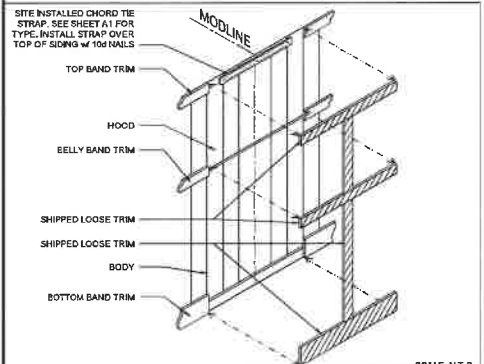
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SCALE: 1/4"=1'-0"



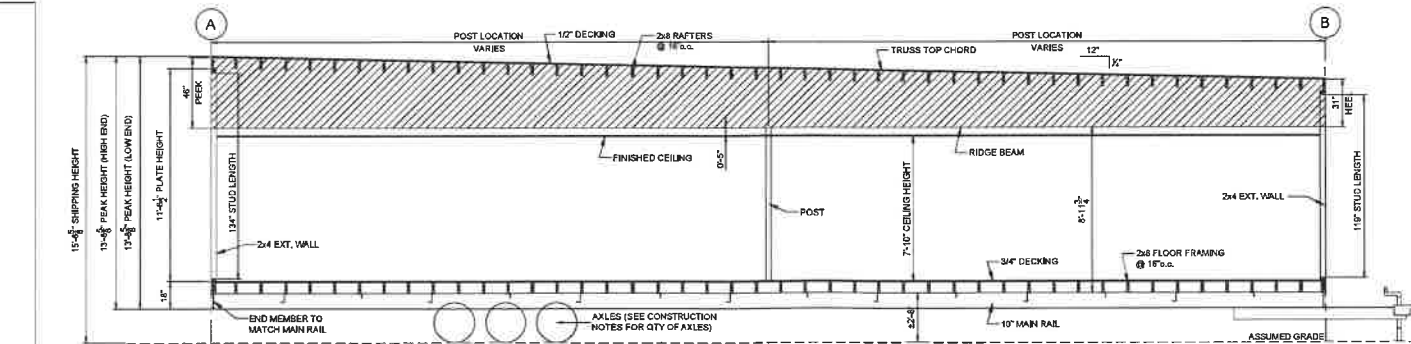
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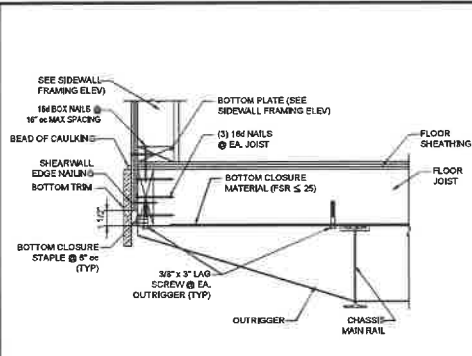
ELEVATION "C" ELEVATION "D"
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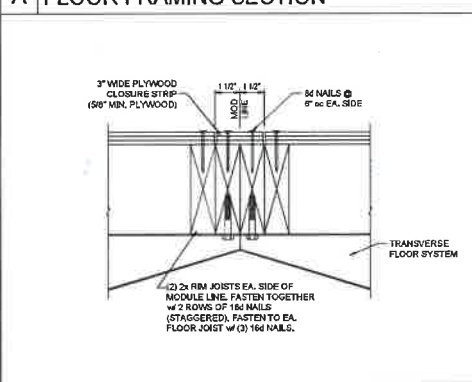
E TRIM ATTACHMENT
SCALE: N.T.S.



BUILDING CROSS SECTION
SCALE: 1/4"=1'-0"



A FLOOR FRAMING SECTION
SCALE: N.T.S.



B MOD-LINE FLOOR CONNECTION (OUTRIGGER CHASSIS)

(EXTERIOR BUILDING) PAINT SCHEDULE

BODY/HOOD:	
VERTICAL CORNER TRIM:	
VERTICAL MODLINE TRIM:	TO MATCH BODY/HOOD
Z-BAR TRIM:	TO MATCH BODY/HOOD
EXTERIOR WINDOW/DOOR TRIM:	
TOP/BOTTOM HORIZ. TRIM:	
GUTTER/DOWNSPOUTS:	N/A
CAULKING:	FACTORY STANDARD

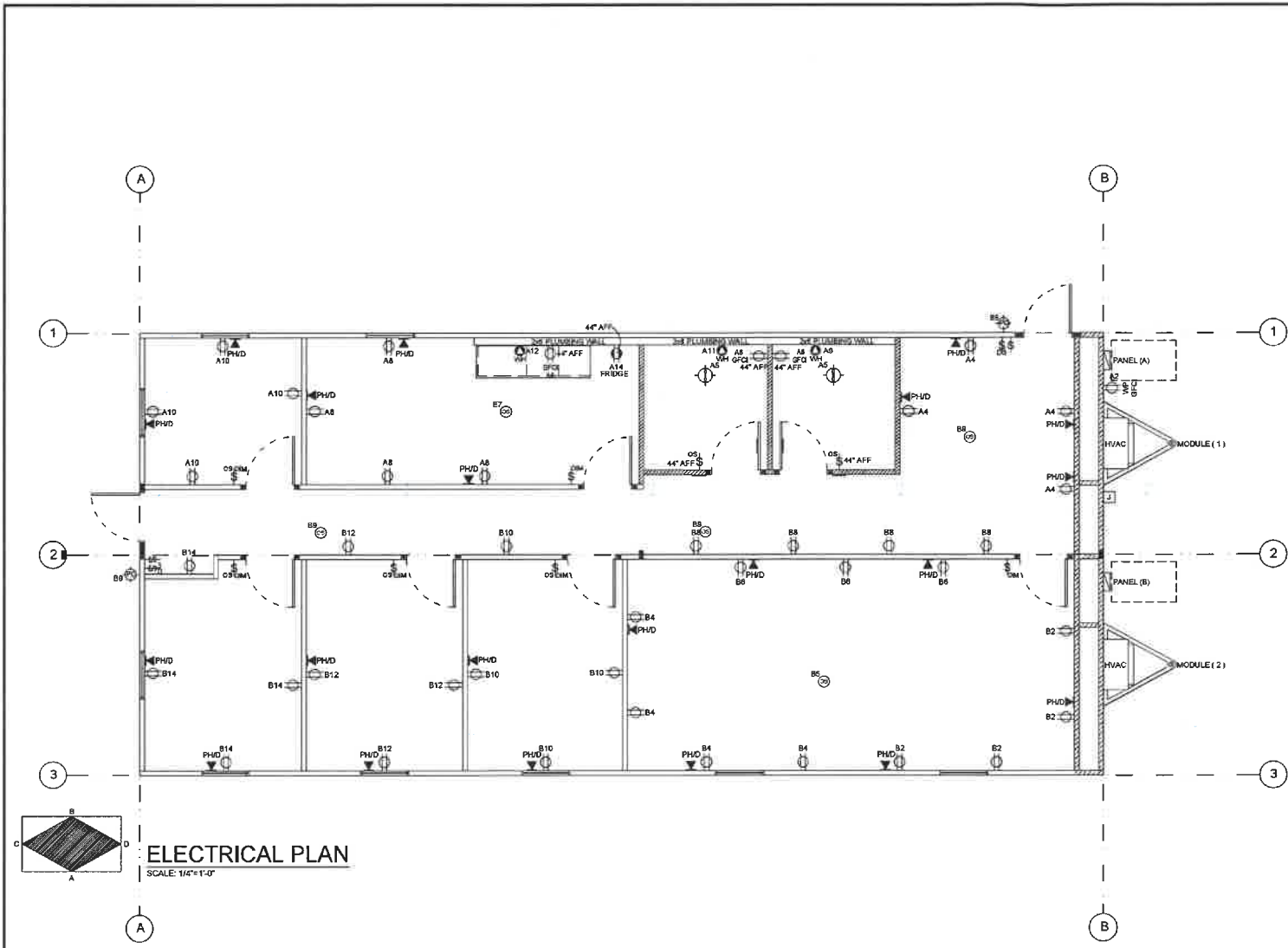
DRAWING TITLE:
EXTERIOR ELEVATIONS
PROJECT NAME:
28'-0" x 60'-0"
MAIN STREET RECYCLING

DATE:
07 / 11 / 2024
SCALE:
1/4" = 1'-0"
DRAWN BY:
A.F.
JOB NUMBER

SHEET NUMBER:
A-3.0

533 SANTA ANA CANYON STE #137
SUNBELT, CA 92077
PHONE: 714-385-7886





ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

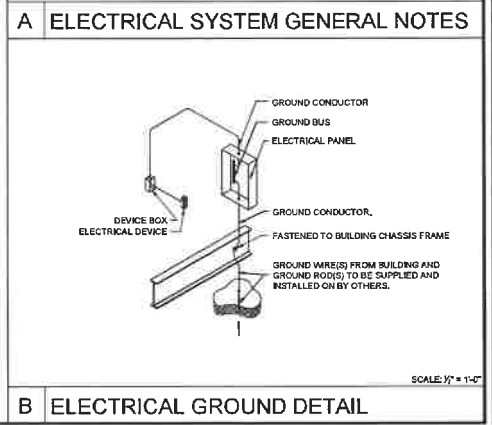
ELECTRICAL PANEL SCHEDULE "A"									
SPACES	WATTS	SPACES	WATTS	SPACES	WATTS	SPACES	WATTS	SPACES	WATTS
1	100	2	200	3	300	4	400	5	500
6	600	7	700	8	800	9	900	10	1000
11	1100	12	1200	13	1300	14	1400	15	1500
16	1600	17	1700	18	1800	19	1900	20	2000
21	2100	22	2200	23	2300	24	2400	25	2500
26	2600	27	2700	28	2800	29	2900	30	3000
31	3100	32	3200	33	3300	34	3400	35	3500
36	3600	37	3700	38	3800	39	3900	40	4000
41	4100	42	4200	43	4300	44	4400	45	4500
46	4600	47	4700	48	4800	49	4900	50	5000
51	5100	52	5200	53	5300	54	5400	55	5500
56	5600	57	5700	58	5800	59	5900	60	6000
61	6100	62	6200	63	6300	64	6400	65	6500
66	6600	67	6700	68	6800	69	6900	70	7000
71	7100	72	7200	73	7300	74	7400	75	7500
76	7600	77	7700	78	7800	79	7900	80	8000
81	8100	82	8200	83	8300	84	8400	85	8500
86	8600	87	8700	88	8800	89	8900	90	9000
91	9100	92	9200	93	9300	94	9400	95	9500
96	9600	97	9700	98	9800	99	9900	100	10000

ELECTRICAL PANEL SCHEDULE "B"									
SPACES	WATTS	SPACES	WATTS	SPACES	WATTS	SPACES	WATTS	SPACES	WATTS
1	100	2	200	3	300	4	400	5	500
6	600	7	700	8	800	9	900	10	1000
11	1100	12	1200	13	1300	14	1400	15	1500
16	1600	17	1700	18	1800	19	1900	20	2000
21	2100	22	2200	23	2300	24	2400	25	2500
26	2600	27	2700	28	2800	29	2900	30	3000
31	3100	32	3200	33	3300	34	3400	35	3500
36	3600	37	3700	38	3800	39	3900	40	4000
41	4100	42	4200	43	4300	44	4400	45	4500
46	4600	47	4700	48	4800	49	4900	50	5000
51	5100	52	5200	53	5300	54	5400	55	5500
56	5600	57	5700	58	5800	59	5900	60	6000
61	6100	62	6200	63	6300	64	6400	65	6500
66	6600	67	6700	68	6800	69	6900	70	7000
71	7100	72	7200	73	7300	74	7400	75	7500
76	7600	77	7700	78	7800	79	7900	80	8000
81	8100	82	8200	83	8300	84	8400	85	8500
86	8600	87	8700	88	8800	89	8900	90	9000
91	9100	92	9200	93	9300	94	9400	95	9500
96	9600	97	9700	98	9800	99	9900	100	10000

ELECTRICAL SCHEDULE				
SYMBOL	DESCRIPTION	CLR	QTY	REMARKS
PANEL	125 AMP 1 PHASE 120/240 w/ 125 AMP MAIN INSTALLED 3-2" A.F.F. TO TOP OF PANEL U.N.O. EXT. SURFACE MBS	NA	2	
PHD	DUPLEX RECEPTACLE w/COVER PLATE @ 18" A.F.F. U.N.O. (NO BRAND SPECIFIED)	WHITE	39	
PHD	24" J-BOX @ 18" A.F.F. w/34" CONDUIT STUBBED TO CEILING CAVITY UND w/COVER PLATE	WHITE	21	
PHD	GROUND FAULT CIRCUIT INTERRUPT RCPT, w/COVER PLATE @ 44" A.F.F. U.N.O. (NO BRAND SPECIFIED)	WHITE	3	
PHD	GFCI DUPLEX RCPT w/ WEATHER PROOF J-BOX & COVER PLATE INSTALLED PER CODE. U.N.O. (NO BRAND SPECIFIED)	NA	1	W/WEATHER PROOF WHITE COVER PLATE
PHD	WALL MNTD SWITCHED OCC. SENSOR w/ COVER PLATE @ 44" A.F.F. TOP OF BOX. (NO BRAND SPECIFIED)	WHITE	2	
PHD	WALL MNTD SWITCHED OCC. SENSOR w/ COVER PLATE @ 48" A.F.F. TOP OF BOX. (NO BRAND SPECIFIED)	WHITE	4	
PHD	(1) THREE-WAY DIMMER SWITCH & (1) SINGLE POLE SWITCH w/ COVER PLATE @ 48" A.F.F. TO TOP OF J-BOX U.N.O. (NO BRAND SPECIFIED)	WHITE	2	
PHD	SINGLE DIMMER POLE SWITCH w/ COVER PLATE @ 48" A.F.F. TO TOP OF J-BOX U.N.O. (NO BRAND SPECIFIED)	WHITE	2	
PHD	CEILING MNTD. DUAL TECHNOLOGY OCCUPANCY SENSOR (DUAL TECH) (NO BRAND SPECIFIED)	NA	5	
PHD	24" LED RECESSED TROFFER LUMINAIRE LIGHT FIXTURE, COOL DIMM, 40K, 32 WATTS (NO BRAND SPECIFIED)	NA	28	
PHD	PORCH LIGHTS w/ PHOTO CELL @ 84" A.F.F. UND NO BRAND SPECIFIED	NA	2	
PHD	6" BMS NEWMAR J-BOX SEMI-RECESSED MNTD @ 18" A.F.F. w/3" 34" CONDUIT STUBBED TO CEILING CAVITY. U.N.O.	METAL	1	INSTALLED OVER ENTRY TAIL FOR FUTURE BUILT
PHD	70 CFM EXHAUST FAN ONLY (NO BRAND SPECIFIED)	NA	2	
PHD	THERMOSTAT @ 48" A.F.F. TO TOP OF J-BOX SEE SHEET M1 FOR BRAND	NA	2	
PHD	HARD WIRED J-BOX FOR WATER HEATER, w/COVER PLATE, INSTALLED PER CODE. U.N.O. (NO BRAND SPECIFIED)	NA	3	
RACEWAY: EMT / MC / FLEX CONDUIT w/ THINWALL WIRE				
NOTE: 1. ALL MEASUREMENTS FOR DEVICES WHICH REQUIRE A HEIGHT ARE TO THE CENTER OF DEVICE UNLESS NOTED OTHERWISE. 2. ALL EXTERIOR ELECTRICAL DEVICES TO BE WEATHERPROOF. 3. FIRE ALARM SYSTEM PROVIDED AND INSTALLED ON SITE BY OTHERS, (WHEN APPLICABLE). 4. ANY RECEPT WITHIN 6'-0" OF ANY WET AREA PLUMBING FIXTURES MUST BE GFCI & PROTECTED.				

ELECTRICAL SYSTEM GENERAL NOTES

1) ELECTRICAL DISTRIBUTION PANELS MUST BE LOCATED WITH A MINIMUM OF 30" CLEAR HORIZONTAL WORKING SPACE IN FRONT.
2) NOT USED
3) RECEPTACLES ADJACENT TO LAVATORIES AND IN AREAS OCCUPIED BY A TOILET, SHOWER, OR TUB MUST BE PROTECTED BY A G.F.C.I.
4) ALL OUTDOOR RECEPTACLES SHALL BE PROTECTED WITH A G.F.C.I. & WEATHER PROOF COVER
5) METALLIC GAS, WATER, WASTE PIPES, AND DUCTS SHALL BE BONDED TO THE CHASSIS OR DISTRIBUTION PANEL.
6) THE CHASSIS SHALL BE BONDED TO THE ELECTRICAL DISTRIBUTION PANEL USING A SOLID OR STRANDED, INSULATED OR BARE COPPER WIRE OR EQUAL. BONDING CONDUCTOR SHALL BE ATTACHED TO A PRESSURE-TERMINAL CONNECTOR APPROPRIATE FOR THE SIZE WIRE BEING USED.
7) METAL ROOFS WITHOUT METAL SIDING WHICH OVERLAP BOTH THE ROOF AND THE CHASSIS SHALL BE BONDED TO THE CHASSIS WITH TWO 4" WIDE GALVANIZED METAL STRAPS LOCATED ON OPPOSITE SIDES OF EACH MODULE. THE STRAPS SHALL BE OF EQUAL CONDUCTIVITY AND THICKNESS AS THE METAL ROOF. STRAPS SHALL BE CONNECTED TO THE CHASSIS WITH PAINT PENETRATING FITTINGS SUCH AS: SCREWS OR STAR WADERS.
8) ALL APPLIANCES, DEVICES, EQUIPMENT, FITTINGS, AND MATERIALS SHALL BE LISTED AND LABELED BY AN APPROVED TESTING AGENCY AND SHALL BE INSTALLED AS PER THE LISTING AND MANUFACTURER'S INSTRUCTIONS.
9) ALL ELECTRICAL WORK TO BE TESTED IN ACCORDANCE WITH AMCO QUALITY CONTROL MANUAL.
10) ALL ELECTRICAL CROSS-OVERS WILL BE COLOR CODED AND/OR NUMBER TAPPED IN SUCH A MANNER AS TO PROVIDE A POSITIVE IDENTIFICATION FOR WHEN THE ON SITE CONNECTIONS ARE MADE.



DRAWING TITLE: PROJECT NAME: 28'-0" x 60'-0" MAIN STREET RECYCLING

DATE: 07 / 11 / 2024
SCALE: 1/4" = 1'-0"
DRAWN BY: A.F.
JOB NUMBER: SHEET NUMBER: E1

5753 SANTA ANA CANYON STE #137
ANAHEIM, CA 92807
PHONE: 714-685-7886

Officially Registered Building

ADA ACCESS NOTES

PLANS SHALL COMPLY WITH DISABLED ACCESS REVIEW LIST PER TITLE 24
1 SIGNS AND IDENTIFICATION

- A. SIGN LOCATIONS
1. ALL SIGNS SHALL BE FIELD INSPECTED AFTER INSTALLATION AND APPROVED BY THE SEC. 11B-703 ENFORCING AGENCY PRIOR TO THE ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY OR FINAL APPROVAL, PER CBC 11B-703.1.1.2)
- A. DOORWAYS LEADING TO MEN'S SANITARY FACILITIES SHALL BE IDENTIFIED BY AN EQUILATERAL TRIANGLE 1/4" THICK WITH EDGES 12" LONG AND A VERTICES POINTING UPWARD. WOMEN'S SANITARY FACILITIES SHALL BE IDENTIFIED BY A CIRCLE 1/4" THICK AND 12" IN DIAMETER, SEC. 11B-703.2.2.5
- B. GEOMETRIC (CIRCLE AND TRIANGLE) SYMBOLS ON SANITARY FACILITY DOOR SHALL BE CENTERED ON THE DOOR AT A HEIGHT OF 60" AND THEIR COLOR AND CONTRAST SHALL BE DISTINCTLY DIFFERENT FROM THE COLOR AND CONTRAST OF THE DOOR, SEC. 11B-703.2.2.8
- C. ADDITIONAL SIGNAGE REQUIREMENTS: RAISED LETTERS SHALL BE PROVIDED AND SHALL BE ACCOMPANIED BY BRAILLE IN CONFORMANCE WITH SECTION 11B-703.2.4 & 11B-703.3. THEY SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCHES OUTSIDE OF THE DOOR. WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE, INCLUDING AT DOUBLE LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL, PREFERABLY ON THE RIGHT. MOUNTING HEIGHT AS DETAILED IN SIGNAGE TEMPLATES, ON THIS SHEET. MOUNTING HEIGHTS SHALL BE 48" MINIMUM BY 11" INCHES (457mm) MINIMUM, CENTERED ON THE TACTILE CHARACTER. IS PROVIDED BEYOND THE ARC OF ANY DOOR SWING BETWEEN THE CLOSED POSITION & 45 DEGREE OPEN POSITION, PER CBC CODE SECTION 11B-703.2.2

2 DOORS AND DOORWAYS

- A. APPLICATION
1. ALL DOORS REQUIRED FOR EXITING
- B. APPROACH
1. 60" DEEP LEVEL AREA IN DIRECTION OF DOOR SWING. FRONT APPROACH TO PUSH SIDE OF DOOR REQUIRES 48" DEEP MANEUVERING CLEARANCE. THERE IS AN ADDITIONAL 12" CLEAR REQUIRED BEYOND THE LATCH SIDE WHERE A CLOSER AND A LATCH ARE PROVIDED, (PER CBC CODE 11B-404.2.4.1)
 2. LEVEL AREA EXTENSION 24" TO STRIKE SIDE OF EXTERIOR DOOR, 18" FOR INTERIOR DOORS.
 3. DOORS OPPOSITE & SWINGING TOWARDS EACH OTHER SHALL HAVE MIN 48" CLEARANCE WITH BOTH DOORS OPEN, (11B-404.2.4.1)
- C. WIDTH
1. MINIMUM 32" CLEAR OPENING WITH DOOR AT 90 DEGREES TO CLOSED POSITION
 2. ONLY ONE DOOR OF PAIR NEED MEET REQUIREMENT
 3. MINIMUM OF 30" CLEAR OPENING IN "EQUIVALENT FACILITATION" SITUATIONS (WHERE ALLOWED)
- D. DOOR TYPE
1. MINIMUM 10" HIGH SMOOTH SURFACE AT DOOR BOTTOM, EITHER ATTACHED PANEL OR BOTTOM BOTTOM RAIL EXCEPT ON AUTOMATIC OR SLIDING DOORS
- E. HARDWARE
1. OPENABLE FROM INSIDE WITHOUT USE OF KEY OR SPECIAL KNOWLEDGE OR EFFORT
 2. OPERABLE BY SINGLE EFFORT LEVER-TYPE DEVICE (NOT REQUIRING GRASPING) & WITH MAX 5 LBS. FORCE.
 3. MOUNTED 34"-44"
 4. MAXIMUM 5 LBS. FORCE TO PUSH OR PULL OPEN, 5 LBS. FOR INTERIOR DOOR
- DOOR CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM THE LATCH IS 6 SECONDS (CBC 11B-404.2.6.1.1)
- F. THRESHOLD
1. 1/2" MAXIMUM TOTAL HEIGHT WITH 1/4" MAXIMUM VERTICAL CHANGE AT EDGE
 2. SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2 (PER CBC 11B-303.3)

3 SANITARY FACILITIES

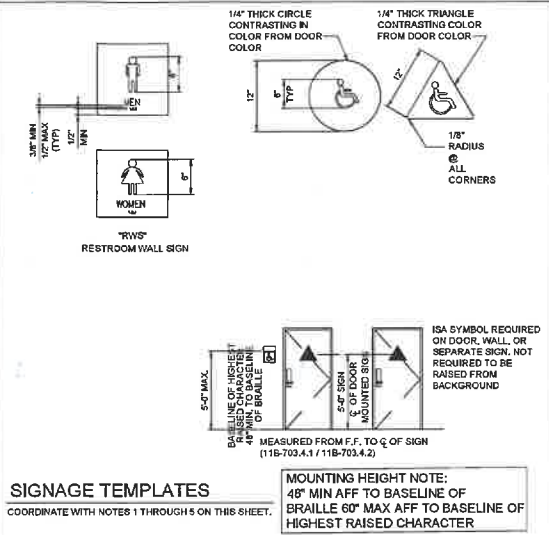
- ON ACCESSIBLE FLOORS OF BUILDING, FACILITIES SHALL BE ACCESSIBLE
- A. ENTRY
1. ENTRY DOOR SHOULD BE 32" CLEAR
 2. A LEVEL CLEAR AREA 60" DEEP WHEN ENTRY DOOR SWINGS TOWARDS APPROACH AND 44" SIDE APPROACH FROM THE PUSH SIDE.
 3. THE ENTRY DOOR SHOULD HAVE A SYMBOL INDICATING SEX: FOR MEN AN EQUILATERAL TRIANGLE (12" PER SIDE) AND FOR WOMEN A CIRCLE (12" DIAMETER) THESE SHOULD BE 1/4" THICK CONTRASTING COLORS MOUNTED AT 60" A.F.F. TO CENTERLINE
- B. WATER CLOSET COMPARTMENTS
1. 48" DEEP x 60" WIDE SPACE IN FRONT OF THE WATER CLOSET COMPARTMENT
 2. 32" WIDE DOOR WHICH SWINGS OUT AND WHICH HAS A SELF-CLOSER (34" WIDE WHEN AT SIDE OF COMPARTMENT)
 3. COMPARTMENT WITH 32" CLEAR TO SIDE WALL FROM TOILET OR 28" CLEAR TO A FIXTURE
 4. WITHIN COMPARTMENT 48" CLEAR IN FRONT OF TOILET OR 60" IN SIDE ENTRY COMPARTMENT
- C. URINALS
1. AT LEAST ONE WITH A CLEAR SPACE 30" WIDE X 48" IN FRONT OF FIXTURE
- D. LAVATORIES
1. A CLEAR SPACE 30" WIDE X 48" DEEP REQUIRED IN FRONT OF FIXTURE
- E. CIRCULATION WITHIN TOILET ROOM
1. CLEAR SPACE 60" IN DIAMETER AND 27" HIGH WITH 12" MAXIMUM INTRUSION BY DOOR
 2. 44" WIDE ACCESS TO THE ACCESSIBLE WATER CLOSET COMPARTMENT
- F. GRAB BARS
1. AT TOILET COMPARTMENT, ONE AT SIDE 42" LONG MOUNTED 24" IN FRONT OF TOILET, ANOTHER AT REAR, 36" LONG, (REFER TO DETAIL A / P-0.5. BOTH MOUNTED AT 33" TO CENTER LINE
 2. A SHOWER COMPARTMENT, AN "L" SHAPED BAR 24"x36" ON WALL ADJACENT AND OPPOSITE SHOWER SEAT, MOUNTED AT 33"-36" HIGH TO THE TOP OF THE GRIPPING SURFACE
 3. BAR TO BE 1 1/4" - 1 1/2" DIAMETER WITH 1 1/2" CLEAR TO WALL
 4. 1/8" MINIMUM RADIUS ON ALL EDGES
 5. BAR AND MOUNTINGS SHOULD BE ABLE TO WITHSTAND 250 LB. BENDING, SHEAR, AND TENSION
 6. SHOULD NOT ROTATE IN FITTING
- G. ACCESSORIES
1. MIRRORS WITH BOTTOM EDGE OF REFLECTING SURFACE AT 40" MAXIMUM
 2. TOWEL, SANITARY NAPKINS, SOAP DISPENSERS, MOUNTED AT 40" MAXIMUM TO OPERABLE PART
 3. TOILET PAPER DISPENSER WITHIN 7'-8" OF THE FRONT OF THE TOILET MEASURED TO THE CENTER OF THE UNIT.
 4. SOAP DISHES AT MAXIMUM OF 40" IN SHOWER AND WITHIN REACH LIMITS OF THE SEAT.

4 PLUMBING REQUIREMENTS

- A. WATER CLOSETS
1. HEIGHT TO TOP OF TOILET SEAT, MINIMUM 17" MAXIMUM 19"
 2. FLUSH CONTROL LOCATED TO ELIMINATE EXCESSIVE BODY MOVEMENT. MANUAL CONTROLS: OSCILLATING HANDLE WITH MAXIMUM OPERATING FORCE OF 3 LBS. F. OR REMOTE BUTTON FOR LOW VOLTAGE ELECTRICAL OPERATION. CONTROLS TO BE LOCATED ON ACCESSIBLE SIDE OF W.C.
- B. URINALS
1. MINIMUM OF ONE ELONGATED RIM TYPE URINAL
 2. PROVIDE CLEAR FLOOR SPACE 30 INCHES BY 48 INCHES.
 3. FLUSH CONTROL MOUNTED MAXIMUM 44" ABOVE FLOOR
- C. LAVATORIES
1. MINIMUM CLEARANCE FROM BOTTOM OF LAVATORY APRON TO FLOOR 28"
 2. MINIMUM KNEE CLEARANCE UNDER LAVATORY 30" WIDE AND 9" DEEP TO 27" A.F.F.
 3. MINIMUM TOE CLEARANCE UNDER LAVATORY 30" WIDE AND 9" ABOVE FLOOR AND 17" DEEP FROM FRONT OF LAVATORY
 4. WATER SUPPLY AND DRAIN PIPES INSULATED OR COVERED (PER 11B-606.5)
 5. NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES
 6. FAUCET CONTROLS SHALL BE OPERABLE WITH ONE HAND WITH MAXIMUM ACTIVATING FORCE OF 5 LBS./FT. AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST, LEVER OPERATED, PUSH TYPE AND ELECTRONICALLY CONTROLLED MECHANISMS ARE ACCEPTABLE. SELF CLOSING VALVES TO REMAIN OPEN MINIMUM OF 10 SECONDS

5 ELECTRICAL REQUIREMENTS

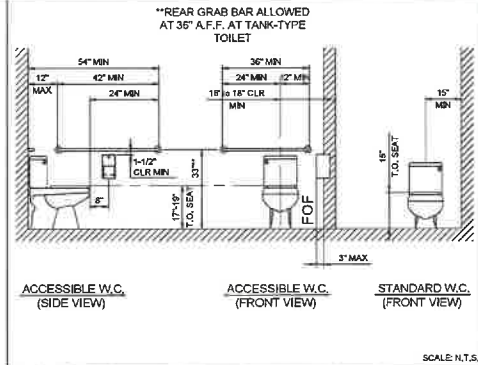
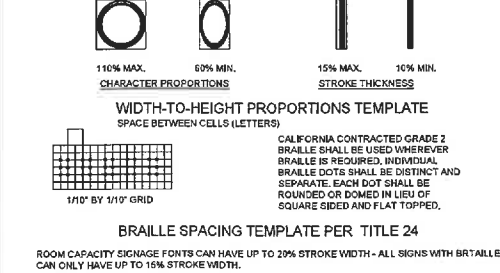
- A. APPLICATION
1. SWITCHES CONTROLLING LIGHTING, RECEPTACLE OUTLETS, APPLIANCES, HEATING AND AIR CONDITIONING, AND VENTILATION EQUIPMENT
- B. SWITCHES
1. CENTER OF SWITCHES NOT LESS THAN 36 INCHES OR NO MORE THAN 48" TO THE TOP OF BOX (PER CBC, 11B-308.1.1) ABOVE FINISHED FLOOR



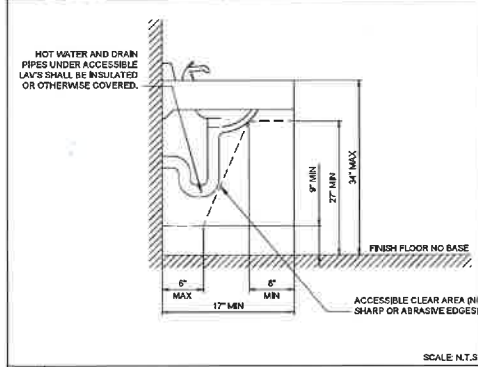
TACTILE SIGNS

1. CHARACTER TYPE: CHARACTERS ON SIGNS SHALL BE RAISED 1/32 INCH (0.784 mm) MINIMUM AND SHALL BE SANS SERIF UPPERCASE CHARACTERS ACCOMPANIED BY CONTRACTED GRADE 2 BRAILLE (SEE NOTE 5 BELOW).
 2. CHARACTER SIZE: RAISED CHARACTERS SHALL BE A MINIMUM OF 5/8 INCH (15.9 mm) AND A MAXIMUM OF 2 INCHES (51 mm) HEIGHT BASED ON THE HEIGHT OF THE UPPERCASE "T".
 3. FINISH AND CONTRAST: CONTRAST BETWEEN CHARACTERS, EYEBOLTS AND THEIR BACKGROUND MUST BE 70% MINIMUM AND HAVE A NON-GLARE FINISH, 11B-703.5.1 / 11B-703.6.2 / 11B-703.7.1.
 4. PROPORTIONS: CHARACTERS SHALL BE SELECTED FROM FONTS WHERE THE WIDTH OF THE UPPERCASE LETTER "O" IS 60 PERCENT MINIMUM AND 110 PERCENT MAXIMUM OF THE HEIGHT OF THE UPPERCASE LETTER "T". (11B-703.2.4). CHARACTER HEIGHT MEASURED VERTICALLY FROM THE BASELINE OF THE CHARACTER SHALL BE 5/8 INCH MINIMUM AND 2 INCHES MAXIMUM BASED ON THE HEIGHT OF THE UPPERCASE LETTER "T" (11B-703.2.4). STROKE THICKNESS OF THE UPPERCASE LETTER "T" SHALL BE 15 PERCENT MAXIMUM OF THE HEIGHT OF THE CHARACTER. (11B-703.2.6)
- TEMPLATE FOR CHECKING CHARACTER AND STROKE WIDTH TO HEIGHT PROPORTIONS:
- 110% MAX. 60% MIN. 15% MAX. 10% MIN.
- CHARACTER WIDTH STROKE WIDTH
- BRAILLE CONTRACTED CALIFORNIA GRADE 2 BRAILLE SHALL BE USED WHEREVER BRAILLE IS REQUIRED IN OTHER PORTIONS OF THESE STANDARDS. DOTS SHALL BE 1/10 INCH (2.54 mm) ON CENTERS IN EACH CELL WITH 2/10 INCH (5.08 mm) SPACE BETWEEN CELLS, MEASURED FROM THE SECOND COLUMN OF DOTS IN THE FIRST COLUMN OF DOTS IN THE SECOND CELL. DOTS SHALL BE RAISED A MINIMUM OF 1/40 INCH (0.635 mm) ABOVE THE BACKGROUND, 11B-703.3 / 11B-703.3.1.
- BRAILLE CELL Inter-cell Spacing = .20"
- BRAILLE DOT
- Rounded dot (Acceptable)
- NO Squared dot (Not Acceptable)
- REQUIRED ROUNDED OR DOMED CALIFORNIA BRAILLED DOTS, EACH DISTINCT AND SEPARATE. DOTS WITH STRAIGHT SIDES AND FLAT TOPS ARE NOT READABLE FOR MANY BRAILLE USERS.

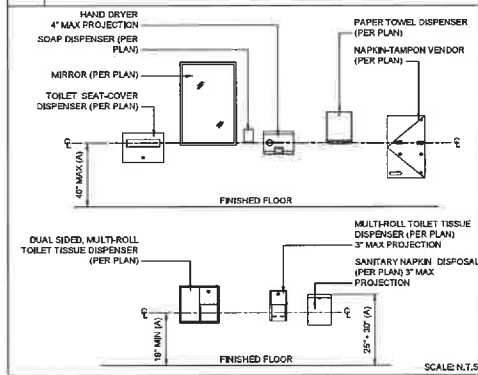
EXAMPLE OF HOW TO DEMONSTRATE FONT TO BE USED



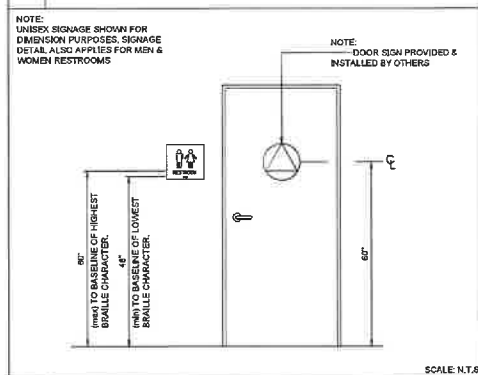
A ADULT TOILET FIXTURE MOUNTING HEIGHTS (TANK TYPE SHOWN)



B LAVY MOUNTING HEIGHTS



C TOILET ACCESSORIES MOUNTING HEIGHTS



D R.R. SIGNAGE DETAIL (MAY BE MIRRORRED)

5753 SANTA ANA CANYON SITE #137
PHONE 714-663-7886



DRAWING TITLE:
ADA ACCESS NOTES

PROJECT NAME:
28'-0" x 60'-0"
MAIN STREET RECYCLING

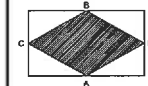
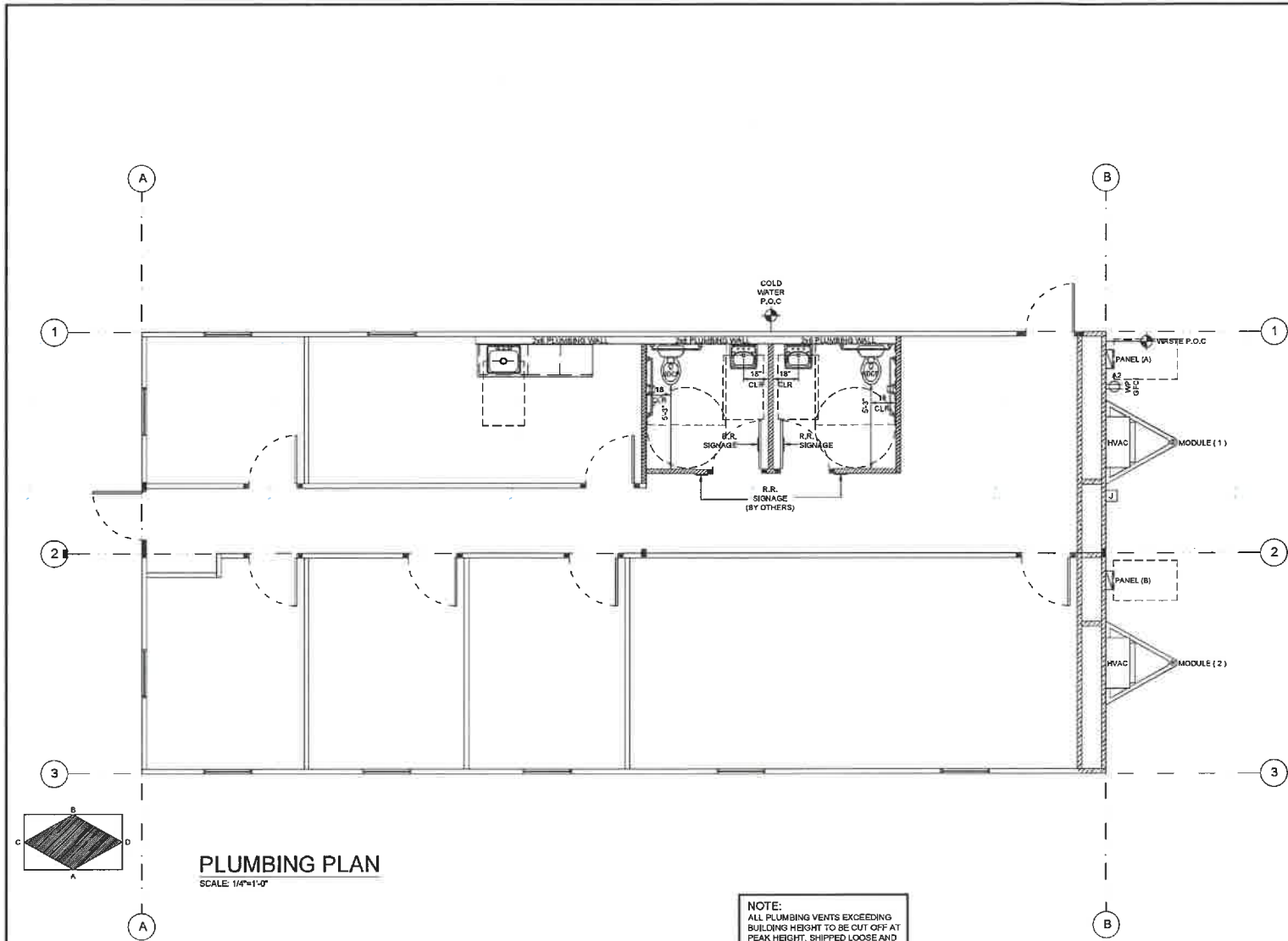
DATE:
07 / 11 / 2024

SCALE:
1/4" = 1'-0"

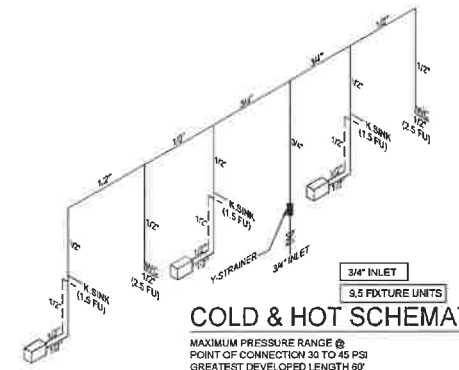
DRAWN BY:
A.F.

JOB NUMBER

SHEET NUMBER:
P-0.5



PLUMBING PLAN
SCALE: 1/4"=1'-0"

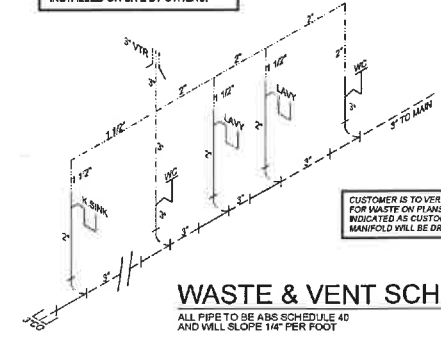


COLD & HOT SCHEMATIC
MAXIMUM PRESSURE RANGE @
POINT OF CONNECTION 30 TO 45 PSI
GREATEST DEVELOPED LENGTH 60'
SUPPLY: COPPER (TYPE 'L' AND OR PEX)

— COLD WATER PIPE
- - - - - HOT WATER PIPE

- NOTE:
1. ALL FIXTURES SHALL HAVE SHUT OFF VALVES
 2. ALL WATER SUPPLY LINES AND DRAIN PIPES EXPOSED BELOW HANDICAPPED LAVATORIES/SINKS SHALL BE WRAPPED WITH INSULATED WRAP.
 3. ALL EXPOSED HOT WATER LINES THAT RUN UNDER BUILDINGS ARE TO BE INSULATED.
 4. ALL HOT WATER PIPES TO BE INSULATED. THE INSULATION THICKNESS SHALL BE 1" FOR PIPES 1" OR SMALLER AND 1.5" FOR PIPES LARGER THAN 1" BUT NO LARGER THAN 4".

NOTE:
ALL PLUMBING VENTS EXCEEDING
BUILDING HEIGHT TO BE CUT OFF AT
PEAK HEIGHT, SHIPPED LOOSE AND
INSTALLED ON SITE BY OTHERS.



WASTE & VENT SCHEMATIC

ALL PIPE TO BE ABS SCHEDULE 40
AND WILL SLOPE 1/4" PER FOOT

EXCLUSIONS:

1. PLUMBING MANIFOLD ASSEMBLY, PARTS, PIECES AND INSTALLATION.
2. PLUMBING LINE CHLORINATION AND / OR STERILIZATION.
3. BACK FLOW PREVENTERS INSTALLED ON SITE BY OTHERS

— WASTE LINE
- - - - - VENT LINE
- - - - - MANIFOLD (BY OTHERS)

CUSTOMER IS TO VERIFY POINT OF CONNECTION
FOR WASTE ON PLANS. IF NO MODIFICATION IS
INDICATED AS CUSTOMER SIGN OFF THEN THE
MANIFOLD WILL BE DRAWN AS SHOWN ON PLANS.

PLUMBING SCHEDULE		
SYMBOL	DESCRIPTION	QTY
	FLOOR MNTD ELONGATED BOWL FOR THE HANDICAPPED w/ STANDARD TANK BRAND: NO BRAND SPECIFIED (1.25 GPF)	2
	WALL MOUNTED HANDICAPPED LAVATORY w/ WALL SUPPORT CONCEALED ARM & SINGLE HANDLE FAUCET SINK BRAND: AMERICAN STANDARD 0355.012.020 LUCERNE OR EQUAL FAUCET BRAND: XXXXXXXX (0.5 GPM @ 60 PSI) OR EQUAL	2
	SEMAV SP 2012 INSTANT WATER HEATER (110V)	3
	ONE SET 1.5" Ø GRAB BARS, INCLUDES: (1) 36" LONG & (1) 48" LONG.	2 SETS
	ADA RECESSED SGL TOILET PAPER DISPENSER (BRAND: BOBRICK 663 OR EQUAL).	2
	18" x 36" MIRROR, POLISHED EDGE, UNFRAMED (NO BRAND SPECIFIED).	2
	Y-STRAINER AND ACCESS DOOR @ COLD WATER INLET. MOUNTED 18" A.F.F. INSIDE EXTERIOR WALL w/ 18" x 18" ACCESS DOOR. Y-STRAINER: NO BRAND SPECIFIED ACCESS DOOR: NO BRAND SPECIFIED	1
	ADA SINGLE S.S KITCHEN SINK w/ SINGLE STANDARD FAUCET. SINK BRAND: K.B.S FAUCET BRAND: N.B.S. (1 & GPM @ 60 PSI)	1

5553 SANTA ANA CANYON STE #137
ANAHEIM, CA 92807
PHONE: 714-953-7666



DRAWING TITLE:
PLUMBING PLAN & SCHEDULES

PROJECT NAME:
28'-0" x 60'-0"
MAIN STREET RECYCLING

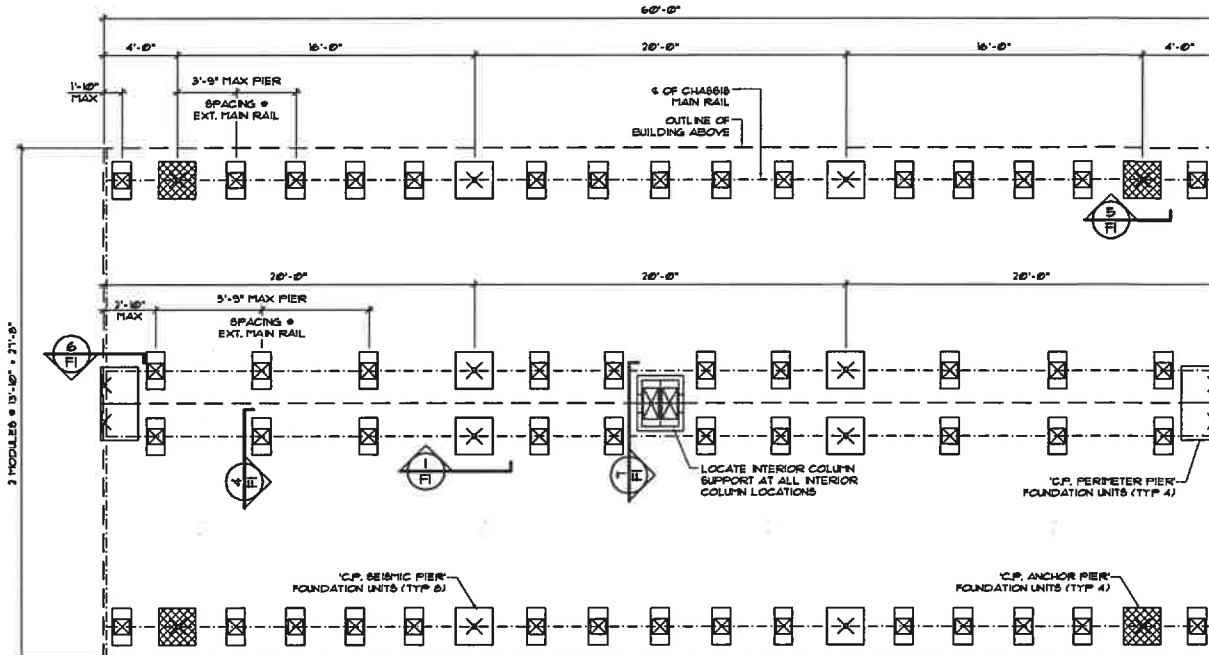
DATE:
07 / 11 / 2024

SCALE:
1/4" = 1'-0"

DRAWN BY:
A.F.

JOB NUMBER

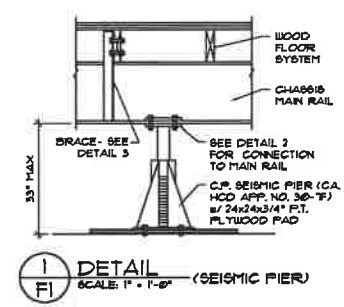
SHEET NUMBER:
P-1.0



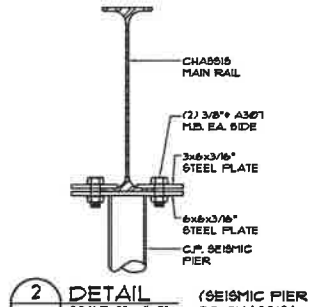
FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

CONSTRUCTION NOTES:

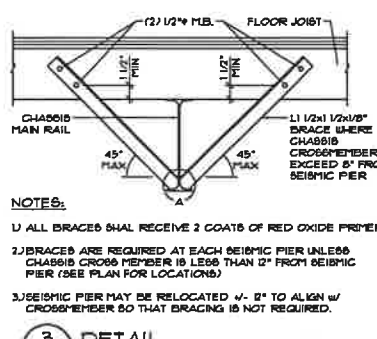
- 1) FOUNDATION DESIGN LOADS:
ROOF LIVE LOAD = 20 PSF
FLOOR LIVE LOAD = 50 PSF
ULT. WIND LOAD = 15 MPH, EXPC.
EARTHQUAKE DESIGN DATA:
a) SEISMIC IMPORTANCE FACTOR: 1.00
b) HAPPED SPECTRAL RESPONSE ACCELERATIONS: 0.15 (PER ASCE 7-16 SECTION 21.8.1) 0.1 (DEFAULT) 0.05 (L400) 0.01 (L300)
c) SITE CLASS: S
d) SEISMIC DESIGN CATEGORY: 1
e) BASIC SEISMIC FORCE RESISTING SYSTEM: LIGHT FRAMED (WOOD) WALLS WITH STRUCTURAL WOOD SHEAR PANELS 2x5 W/ C6 x 6.5 EQUIVALENT LATERAL FORCE ANALYSIS 13
- 2) ALL WORK SHALL CONFORM TO 2022 CBC AND/OR LOCAL BUILDING CODES.
- 3) ACUMEN ENGINEERING HAS NOT INVESTIGATED THE SOILS SUPPORTING THIS BUILDING. THE ALLOWABLE BEARING CAPACITY IS ASSUMED TO BE 1500 PSF. IF ACTUAL SOIL CONDITIONS AT THIS SITE ARE KNOWN TO VARY FROM THESE ASSUMPTIONS, THEN ACUMEN ENGINEERING MUST BE NOTIFIED IMMEDIATELY.
- 4) CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON PLANS. THE ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES.
- 5) THIS DESIGN IS BASED ON THE FLOOR & ROOF ASSEMBLIES ACTING AS CONTINUOUS DIAPHRAGMS TO DISTRIBUTE LATERAL LOADS. REFER TO BUILDING MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR PROPER INTER-MODULE CONNECTIONS.
- 6) ALL LUMBER IN CONTACT WITH OR WITHIN 8" OF SOIL TO BE PRESERVATIVE TREATED.
- 7) ALL FASTENERS USED IN FOUNDATION MUST BE CORROSION RESISTANT.
- 8) ADJACENT GROUND SURFACES SHOULD BE SLOPED AWAY FROM STRUCTURE AT 5% FOR A MINIMUM DISTANCE OF 10 FEET. DRAINAGE OF SURROUNDING AREA SHALL BE PROVIDED TO PREVENT ACCUMULATION OF SURFACE WATER.
- 9) SKIRTING (IF USED) MUST BE SELF SUPPORTING AND MAY NOT TRANSFER ANY LOAD.
- 10) IF SKIRTING IS USED, UNDER FLOOR AREA MUST BE VENTILATED AT 1 SQ. FT. FOR EACH 50 SQ. FT. OF FLOOR AREA. OPENING MUST BE COVERED W/ CORROSION RESISTANT FISH WITH OPENINGS OF 1/4 INCH.
- 11) IF SKIRTING IS USED, AN ACCESS OPENING WITH DIMENSIONS NOT LESS THAN 18"x24" SHALL BE PROVIDED WITH HASP AND LOCK.
- 12) HEIGHT OF FINISHED FLOOR ABOVE GRADE SHALL NOT EXCEED 44".
- 13) ALL UTILITY/RAMP/STAIR DESIGN AND SITE/UTILITY GRADING DESIGN BY OTHERS.
- 14) PRE-FABRICATED SEISMIC PIER FOUNDATION UNITS SHALL BE C.P. SEISMIC PIER COMMERCIAL MOBILE FOUNDATION (CALIFORNIA HCD STATE APPROVAL NO. BP 11-06 & BP 11-07) MANUFACTURED BY CENTRAL PIERS, INC.
- 15) SEISMIC PIER FOUNDATION UNITS SHALL BE FIRMLY SET ON FINISHED GRADE SO THAT REASONABLY FIRST BEARING IS ACHIEVED.
- 16) IF DIFFERENTIAL SETTLEMENT EXCEEDS 1/4", THE PIERS SHALL BE READJUSTED TO PROVIDE PROPER SUPPORT.
- 17) STEEL PIERS TO BE MANUFACTURED BY CENTRAL PIERS, INC. OR APPROVED EQUAL. (CALIFORNIA HCD STATE APPROVAL NO. BP 11-06 PIER DESIGN CAPACITY TO BE 3000 LBS OR GREATER (UNLESS NOTED OTHERWISE).)
- 18) THE MANUFACTURER'S INSTRUCTIONS MUST BE STRICTLY ADHERED TO WHEN INSTALLING PIERS.
- 19) ALL UTILITY CONNECTIONS AT ENTRANCE TO BUILDING SHALL BE MADE WITH FLEXIBLE TYPE CONNECTORS.
- 20) MODULAR BUILDING TO BE CALIFORNIA HCD APPROVED COMMERCIAL COACH.
- 21) ACUMEN ENGINEERING WILL NOT INSPECT THE INSTALLED FOUNDATION SYSTEM. THE OWNER OF THIS BUILDING AGREES TO INDEMNIFY ACUMEN ENGINEERING FOR DAMAGES ARISING FROM IMPROPER INSTALLATION.



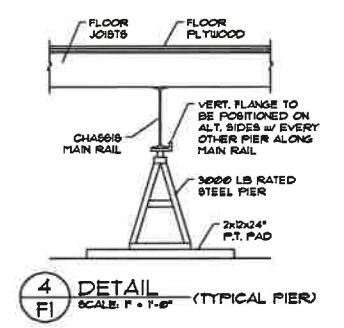
1 DETAIL (SEISMIC PIER)
SCALE: 1" = 1'-0"



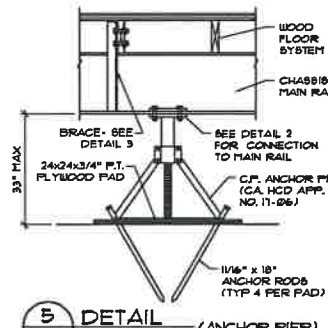
2 DETAIL (SEISMIC PIER TO CHASSIS)
SCALE: 1" = 1'-0"



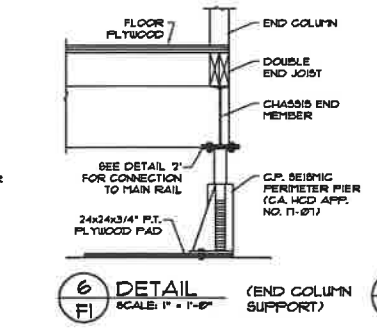
3 DETAIL (BRACE CONNECTION)
SCALE: 1-1/2" = 1'-0"



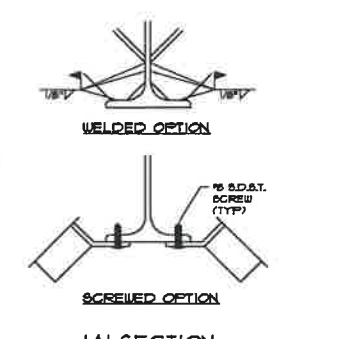
4 DETAIL (TYPICAL PIER)
SCALE: 1" = 1'-0"



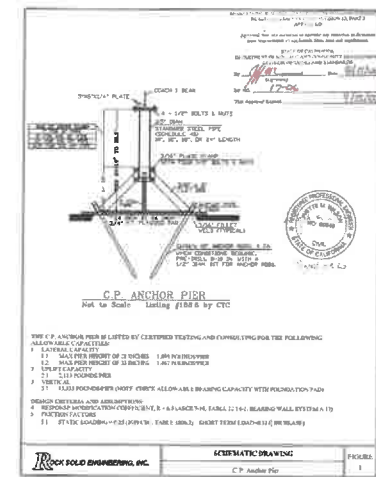
5 DETAIL (ANCHOR PIER)
SCALE: 1" = 1'-0"



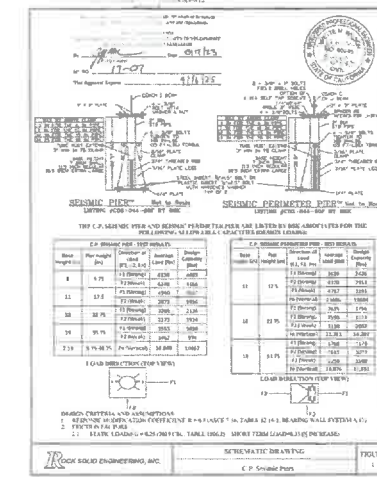
6 DETAIL (END COLUMN SUPPORT)
SCALE: 1" = 1'-0"



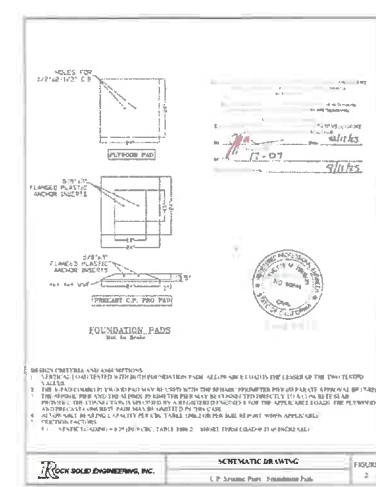
7 DETAIL (INT. COLUMN SUPPORT)
SCALE: 1" = 1'-0"



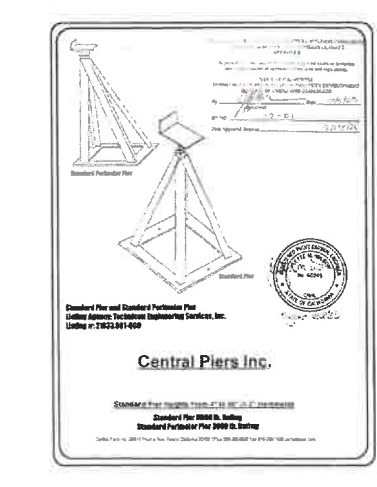
C.P. ANCHOR PIER
SCALE: 1" = 1'-0"



C.P. SEISMIC PIER
SCALE: 1" = 1'-0"



FOUNDATION PADS
SCALE: 1" = 1'-0"



Central Piers Inc.
SCALE: 1" = 1'-0"

REVISIONS

DATE	BY

ACUMEN
ENGINEERING DESIGN, LLC
12006 NORTH 144TH AVENUE
SURPRISE, ARIZONA 85375
(602) 971-1967

CSLM CONSTRUCTION INC.
9153 E SANTA ANA CANYON RD 137
ANAHIM, CA 92807
(714) 665-4505

COMMERCIAL MODULAR FOUNDATION DESIGN
(STATE APPROVAL 11-06, 11-07 & 11-08)
(1) 28' x 60' MODULAR OFFICE BUILDING
MAIN STREET RECYCLING LLC
25006 MAIN STREET
GRAND TERRACE CALIFORNIA 92313

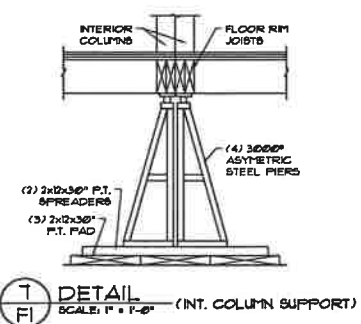
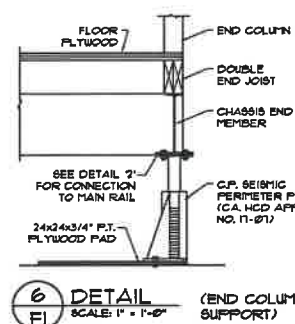
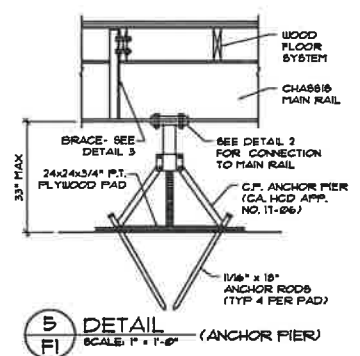
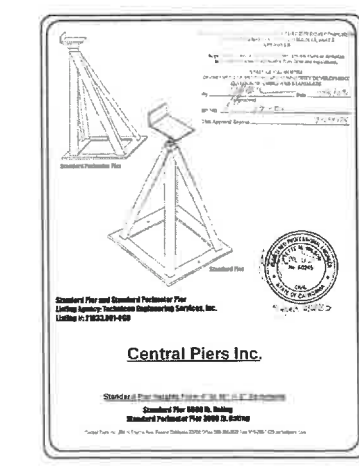
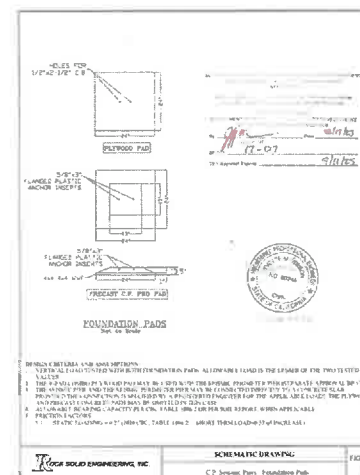
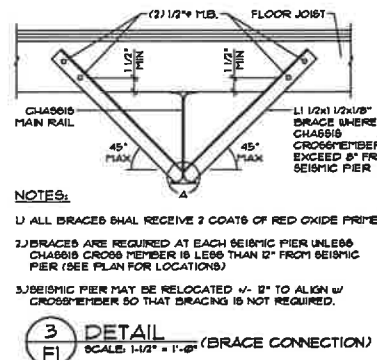
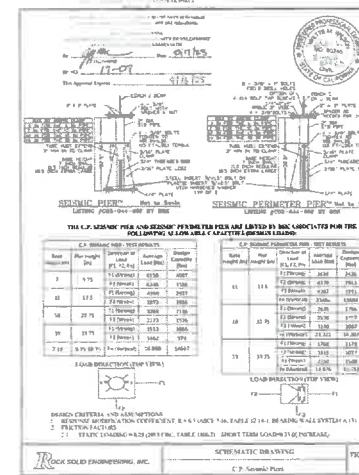
SEAL
Adam M. Worman
C 91581
Civil Engineer
State of California
Digitally signed by Adam M. Worman, PE
Reason: I am approving this document.
Date: 2024.07.11 17:33:29 -0700

SEAL
DATE: 7/2/24
SCALE: SHOWN
DWN: F.S.
JOB: 240702
SHEET: 11
OF 1 SHEET



- 1) FOUNDATION DESIGN LOADS:
ROOF LIVE LOAD = 20 PSF
FLOOR LIVE LOAD = 50 PSF
ULT. WIND LOAD = 175 MPH, ENPC
EARTHQUAKE DESIGN DATA:
a.) SEISMIC IMPORTANCE FACTOR:
RISK CATEGORY: 1
b.) MAINTAINED STRUCTURAL
RESPONSE ACCELERATIONS:
1.00
0.6+1.0xSD1 (FER AGC 7-16
SD1=100000 SECTION 214.8)
c.) SITE CLASS: D' (DEF-AULT)
d.) SPECTRAL RESPONSE COEFFICIENTS:
SDS=1.4xSD1
SD1=1333
e.) SEISMIC DESIGN CATEGORY:
1) BASIC SEISMIC FORCE
RESISTING SYSTEM:
LIGHT FRAMED (WOOD)
WALLS WITH STRUCTURAL
WOOD SHEAR PANELS
0.25 U
f.) DESIGN BASE SHEAR:
G_s = 0.215
g.) SEISMIC RESPONSE COEFFICIENT:
R = 6.5
h.) RESPONSE MODIFICATION FACTOR:
i.) ANALYSIS PROCEDURE USED:
EQUIVALENT LATERAL
FORCE ANALYSIS
L3
j.) REDUNDANCY FACTOR USED:
1.3
- 2.) ALL WORK SHALL CONFORM TO 2022 CBC AND/OR LOCAL BUILDING CODES.
- 3.) ACHEN ENGINEERING HAS NOT INVESTIGATED THE SOILS SUPPORTING THIS BUILDING. THE ALLOWABLE BEARING CAPACITY IS ASSUMED TO BE 15000 PSF IF ACTUAL SOIL CONDITIONS AT THIS SITE ARE KNOWN TO VARY FROM THESE ASSUMPTIONS, THEN ACHEN ENGINEERS MUST BE NOTIFIED IMMEDIATELY.
- 4.) CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON PLANS. THE ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES.
- 5.) THIS DESIGN IS BASED ON THE FLOOR & ROOF ASSEMBLIES ACTING AS CONTINUOUS DIAPHRAGMS TO DISTRIBUTE LATERAL LOADS. REFER TO BUILDING MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR PROPER INTER-MODULE CONNECTIONS.
- 6.) ALL LUMBER IN CONTACT WITH OR WITHIN 6" OF SOIL TO BE PRESERVATIVE TREATED.
- 7.) ALL FASTENERS USED IN FOUNDATION MUST BE CORROSION RESISTANT.
- 8.) ADJACENT GROUND SURFACES SHOULD BE SLOPED AWAY FROM STRUCTURE AT 5% FOR A MINIMUM DISTANCE OF 10 FEET. DRAINAGE OF SURROUNDING AREA SHALL BE PROVIDED TO PREVENT ACCUMULATION OF SURFACE WATER.

- 31 SKIRTING (IF USED) MUST BE SELF SUPPORTING AND MAY NOT TRANSFER ANY LOAD.
- 32 IF SKIRTING IS USED, UNDER FLOOR AREA MUST BE VENTILATED AT 1 SQ. FT. FOR EACH SQ. FT. OF FLOOR AREA. SKIRTING MUST BE COVERED W/ CORROSION RESISTANT FIBER WITH OPENINGS OF 1/4 INCH.
- 33 IF SKIRTING IS USED, AN ACCESS OPENING WITH DIMENSIONS NOT LESS THAN 18"x24" SHALL BE PROVIDED WITH HASP AND LOCK.
- 34 HEIGHT OF FINISHED FLOOR ABOVE GRADE SHALL NOT EXCEED 4".
- 35 ALL UTILITY/RAMP/STAIR DESIGN AND SITE/UTILITY GRADING DESIGN BY OTHERS.
- 36 PRE-FABRICATED BEISMIC PIER FOUNDATION UNITS SHALL BE "C" BEISMIC PIER/ COMMERCIAL MOBILE FOUNDATION (CALIFORNIA HCD STATE APPROVAL NO. BFP 11-064 / BFP 11-070) MANUFACTURED BY CENTRAL PIERS, INC.
- 37 BEISMIC PIER FOUNDATION UNITS SHALL BE FIRMLY SET ON FINISHED GRADE SO THAT REASONABLY FIRM BEARING IS ACHIEVED.
- 38 IF DIFFERENTIAL SETTLEMENT EXCEEDS 1/4", THE PIERS SHALL BE READJUSTED TO PROVIDE PROPER SUPPORT.
- 39 STEEL PIERS TO MANUFACTURED BY CENTRAL PIERS, INC. OR APPROVED CALIFORNIA HCD (CALIFORNIA HCD APPROVAL NO. BFP 11-064) PIER DESIGN CAPACITY TO BE 3000 LBS OR GREATER (UNLESS NOTED OTHERWISE).
- 40 THE MANUFACTURER'S INSTRUCTIONS MUST BE STRICTLY ADHERED TO WHEN INSTALLING PIERS.
- 41 ALL UTILITY CONNECTIONS AT ENTRANCE TO BUILDING SHALL BE MADE WITH FLEXIBLE TIE CONNECTORS.
- 42 MODULAR BUILDING TO BE CALIFORNIA HCD APPROVED COMMERCIAL COACH.
- 43 ACPIEN ENGINEERS WILL NOT INSPECT THE INSTALLED FOUNDATION SYSTEM. THE OWNER OF THIS BUILDING WILL BE RESPONSIBLE TO HIRE AN ACPIEN ENGINEERING FOR DAMAGES ARISING FROM IMPROPER INSTALLATION.



REVISIONS	
DATE	BY

A CUMEN
ENGINEERING DESIGN, LLC

12008 NORTH 144TH AVENUE
SURPRISE, ARIZONA 85379
(602) 571-0877

CSLM CONSTRUCTION INC.
5793 E SANTA ANA CANYON RD #37
ANAHEIM, CA 92807
(714) 683-4309

**COMMERCIAL MODULAR
FOUNDATION DESIGN**
DATE APPROVAL 11-06, 11-07 & 11-011



Digitally signed by Adam M. Nieman,

Reason: I am approving this document
Date: 2024.07.11 17:33:29-0700

SEAL

THE BOOK IS ONLY AVAILABLE FROM THE
ADDRESS SHOWN ON THE TITLE PAGE

DATE _____

DATE 7/20

SCALE: _____ SHOW _____

DEN. F

JOB: 2407

OF THE

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11



CITY OF GRAND TERRACE
NOTICE OF EXEMPTION

TO: Clerk of the Board of Supervisors
County of San Bernardino
385 N. Arrowhead Avenue, 2nd Floor
San Bernardino, CA 92415-0130

FROM: Planning and Development
Services Department
City of Grand Terrace
22795 Barton Road
Grand Terrace, CA 92313

Project Title: Site and Architectural Review 24-04, Conditional Use Permit 24-04

Project Location – Specific: 21506 Main Street, Grand Terrace, CA 92313 (APN 1167-111-09)

Description of Project: Installation of two 1,440 square-foot single story modular office buildings using prefabricated techniques for the sale or lease of construction equipment and vehicles at 21506 Main Street, Grand Terrace, CA 92313 (APN 1167-111-09)

Name of Public Agency Approving Project: Grand Terrace Planning Commission/Site and Architectural Review Board

Name of Person or Agency Carrying out Project: Craig Yocum (“Applicant”) of Lee & Associates (cyocum@lee-associates.com / 951-276-3600), representing Equipment Share.

Exempt Status: California Environmental Quality Act (CEQA) Exempt Pursuant To Section §15332 Class 32 [In-Fill Development Projects]

Reasons Why Project is Exempt: The two proposed 1,440 square-foot single story modular office building units represent was determined by the City of Grand Terrace, as Lead Agency, to not be subject to the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section §15332 Class 32 (In-Fill Development Projects). The Class 32 “Infill” Categorical Exemption exempts infill development within urbanized areas if it meets certain criteria. The exemption accounts for projects considered environmentally benign infill projects consistent with the General Plan and Zoning requirements of the City. This exemption applies to any use type and is not intended for projects that would result in significant traffic, noise, air or water quality impacts. The project is located in an urbanized area, is consistent with the General Plan and Zoning, and installation of the modular units and use of the site for the lease and sale of construction equipment does not represent a significant impact on the surrounding area.

Lead Agency or Contact Person:

Area Code/Telephone

(909) 954-5176

Shutter@grandterrace-ca.gov

Scott Hutter
Planning Director

Date