



CITY OF GRAND TERRACE
Planning Commission/Site and Architectural
Review Board
AGENDA • October 17, 2024

Council Chambers

Regular Meeting

6:30 PM

Grand Terrace Civic Center • 22795 Barton Road

COMMENTS FROM THE PUBLIC

The public is encouraged to address the Planning Commission/Site & Architectural Review Board on any matter posted on the agenda or on any other matter within its jurisdiction. If you wish to address the Board, please complete a Request to Speak card located at the front entrance and provide it to the Planning Secretary. Speakers will be called upon by the Mayor at the appropriate time and each person is allowed three (3) minutes speaking time.

If you would like to participate telephonically and speak on an agenda item, you can access the meeting by dialing the following telephone number and you will be placed in the waiting room, muted until it is your turn to speak:

1-669-900-9128

Enter Meeting ID: 813 5353 8662

Password: 749905

The City wants you to know that you can also submit your comments by email to ccpubliccomment@grandterrace-ca.gov. To give the Planning Secretary adequate time to print out your comments for consideration at the meeting, please submit your written comments prior to 5:00 p.m.; or if you are unable to email, please call the Planning Secretary's Office at (909) 954-5206 by 5:00 p.m.

If you wish to have your comments read to the Planning Commission/Site & Architectural Review Board during the appropriate Public Comment period, please indicate in the Subject Line "FOR PUBLIC COMMENT" and list the item number you wish to comment on. Comments that you want read to the Planning Commission/Site & Architectural Review Board will be subject to the three (3) minute time limitation (approximately 350 words).

Pursuant to the provisions of the Brown Act, no action may be taken on a matter unless it is listed on the agenda, or unless certain emergency or special circumstances exist. The City Council may direct staff to investigate and/or schedule certain matters for consideration at a future City Council meeting.

PLEASE NOTE: Copies of staff reports and supporting documentation pertaining to each item on this agenda are available for public viewing and inspection at City Hall, 1st Floor Lobby Area and 2nd Floor Reception Area during regular business hours and on the City's website www.grandterrace-ca.gov. For further information regarding agenda items, please contact the office of the Planning Secretary at (909) 954-5206, or via e-mail at dalcocer@grandterrace-ca.gov.

Any documents provided to a majority of the Planning Commission/Site & Architectural Review Board regarding any item on this agenda will be made available for public inspection in the City Clerk's office at City Hall located at 22795 Barton Road during normal business hours. In addition, such documents will be posted on the City's website at www.grandterrace-ca.gov.

AMERICANS WITH DISABILITIES ACT

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City Clerk's Office, (909) 954-5207 at least 48 hours prior to the advertised starting time of the meeting. This will enable the City to make reasonable arrangements to ensure accessibility to this meeting. Later requests will be accommodated to the extent feasible [28 CFR 34.102.104 ADA Title II].

Thursday, October 17, 2024

1

CALL TO ORDER

Convene the Meeting of the Planning Commission/Site and Architectural Review Board.

Pledge of Allegiance

AB 2449 Disclosures

Remote participation by a member of the legislative body for just cause or emergency circumstances.

Roll Call

APPROVAL OF AGENDA

PRESENTATIONS

PUBLIC ADDRESS

Public address to the Commission shall be limited to three minutes unless extended by the Chairperson. Should you desire to make a longer presentation, please make a written request to be agendaized to the Director of Planning and Development Services. This is the opportunity for members of the public to comment on any items not appearing on the regular agenda. Because of restrictions contained in California Law, the Planning Commission may not discuss or act on any time not on the agenda, but may briefly respond to statements made or ask a question for clarification. The Chairperson may also request a brief response from staff to questions raised during public comment or may request a matter be agendaized for a future meeting.

A. CONSENT CALENDAR

- 1) Approval of Minutes - Regular Meeting - July 18, 2024.

RECOMMENDATION:

DEPARTMENT: City Clerk

B. ACTION ITEMS - NONE

C. PUBLIC HEARINGS

- 2) Site and Architectural Review 24-01 (SA 24-01), Administrative Site and Architectural Review 24-10 (ASA 24-10), and Environmental Review 24-01 (ENV 24-01) for a new one-story SINGLE-FAMILY residence and the conversion of the existing residence into an accessory dwelling unit at 22222 Van Buren Street (APN: 1167-261-45-0000)

RECOMMENDATION:

DEPARTMENT: Planning & Development Services

D. INFORMATION TO COMMISSIONERS

E. INFORMATION FROM COMMISSIONERS

ADJOURN

Adjourn to the next scheduled meeting of the Planning Commission/Site & Architectural Review Board to be held on November 7, 2024, at 6:30 p.m.



CITY OF GRAND TERRACE

PLANNING COMMISSION/SITE AND ARCHITECTURAL REVIEW BOARD

MINUTES • JULY 18, 2024

Council Chambers

Regular Meeting

6:30 PM

Grand Terrace Civic Center • 22795 Barton Road

CALL TO ORDER

Vice-Chair Ceseña convened the Regular Meeting of the Planning Commission/Site and Architectural Review Board for Thursday, July 18, 2024, at 6:30 p.m.

Pledge of Allegiance

The Pledge of Allegiance was led by Commissioner Mathis.

AB 2449 Disclosures

None.

Attendee Name	Title	Status	Arrived
Edward A. Giroux	Chair	Absent	
Tara Cesena	Vice-Chair	Present	
David Alaniz	Commissioner	Absent	
Aron Burian	Commissioner	Present	
Scot Mathis	Commissioner	Present	
Scott Hutter	Planning & Development Services Director	Present	
Jamie Traxler	Assistant City Attorney	Present	
Daysi Alcocer	Planning Secretary	Present	

APPROVAL OF AGENDA

1. Motion: APPROVAL OF THE JULY 18, 2024, AGENDA

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Aron Burian, Commissioner
SECONDER:	Scot Mathis, Commissioner
AYES:	Tara Cesena, Aron Burian, Scot Mathis
ABSENT:	Edward A. Giroux, David Alaniz

PRESENTATIONS

None.

PUBLIC ADDRESS

None.

A. CONSENT CALENDAR**2. Approval of Minutes – Regular Meeting – 06/20/2024**

RESULT:	ACCEPTED [UNANIMOUS]
MOVER:	Scot Mathis, Commissioner
SECONDER:	Aron Burian, Commissioner
AYES:	Tara Cesena, Aron Burian, Scot Mathis
ABSENT:	Edward A. Giroux, David Alaniz

B. ACTION ITEMS

None.

C. PUBLIC HEARINGS**1. Public Hearing to Consider Revocation of Conditional Use Permit (CUP) 19-01 (Authorizing Construction of Trailer/Container Storage Facility at 11731 Terrace Avenue, Grand Terrace / APNs 0275-191-06 and 0275-191-30).**

Vice-Chair Ceseña reopened the public hearing at 6:33 p.m.

Scott Hutter, Planning & Development Services Director gave the PowerPoint presentation for this item.

Scott Cooper, Associate with Rutan & Tucker, LLP a representative of property owner Grand T-1, LLC. gave an update on the public hearing item.

PUBLIC COMMENT

Daysi Alcocer, Department Secretary read out emails & announced the materials submitted to the City from residents Bobbie Forbes & Juanita Odenbaugh, as well as an email from Jeremy Briggs all expressing their concerns regarding TSG storage facility.

Virginia Diaz Fernandez expressed not being able to enjoy her neighborhood due to the noise that occurs after hours at the TSG storage facility near her home.

Juanita Odenbaugh expressed her concerns regarding trash being disposed of in her neighborhood near the TSG storage facility.

Harry Roussos voiced his support for the revocation of the CUP 19-01.

Shawna Simon expressed her concerns regarding trash being disposed and not being able to walk through the community due to the trucks driving by and she also voiced her support for the revocation of the CUP 19-01.

Michael Simon expressed his concerns regarding the TSG storage facility near his home.

Cynthia Bidney – statement provided by Cynthia and read by Bobbi Forbes.

Bobbie Forbes voiced her support for the revocation of the CUP 19-01 and expressed how this facility has affected the residents.

Vice-Chair Ceseña closed the public hearing at 7:29 p.m.

Commissioner Burian moved, with a second by Commissioner Mathis to approve the following recommendation

Adopt A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF GRAND TERRACE, CALIFORNIA, RECOMMENDING, IN ACCORDANCE WITH GRAND TERRACE MUNICIPAL CODE SECTION 18.83.030, REVOCATION OF CONDITIONAL USE PERMIT 19-01 [THAT AUTHORIZED CONSTRUCTION OF TRAILER/CONTAINER STORAGE FACILITY ON A 21.92 ACRE SITE [APNS 0275-191-06 AND 0275-191-30] DUE TO NON-COMPLIANCE WITH CONDITIONS OF APPROVAL OF CUP 19-01.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Aron Burian, Commissioner
SECONDER:	Scot Mathis, Commissioner
AYES:	Tara Cesena, Aron Burian, Scot Mathis
ABSENT:	Edward A. Giroux, David Alaniz

D. INFORMATION TO COMMISSIONERS

None.

E. INFORMATION FROM COMMISSIONERS

Vice-Chair Ceseña asked about a condition regarding the Drive-Thru Starbucks on Barton Road, she stated that there were supposed to be tall trees planted along the wall to offer the resident some privacy, she would like city staff to look into this.

ADJOURN

Adjourn to the next scheduled meeting of the Planning Commission/Site and Architectural Review Board to be held on August 1, 2024, at 6:30 p.m.

Tara Ceseña, Vice-Chair

Debra L. Thomas, City Clerk



AGENDA REPORT

MEETING DATE: October 17, 2024

TITLE: Site and Architectural Review 24-01, Administrative Site and Architectural Review 24-10, and Environmental Review 24-01 For A New Single-Family Primary Home, Site Improvements, and Conversion of an Existing Residence Into An Accessory Dwelling Unit at 22222 Van Buren Street (APN: 1167-261-45-0000)

PRESENTED BY: Gabriel Arguelles, Assistant Planner

RECOMMENDATION: 1) Conduct a public hearing, and
2) Adopt a **RESOLUTION OF THE PLANNING COMMISSION/SITE AND ARCHITECTURAL REVIEW BOARD OF THE CITY OF GRAND TERRACE, CALIFORNIA APPROVING SITE AND ARCHITECTURAL REVIEW 24-01, ADMINISTRATIVE SITE AND ARCHITECTURAL REVIEW 24-1 FOR A NEW SINGLE-FAMILY PRIMARY HOME, SITE IMPROVEMENTS, AND CONVERSION OF AN EXISTING RESIDENCE INTO AN ACCESSORY DWELLING UNIT AT 22222 VAN BUREN STREET (APN: 1167-2616-45-0000) IN THE R1-7.2 SINGLE FAMILY RESIDENTIAL ZONING DISTRICT AND ADOPTING ENVIRONMENTAL DETERMINATION 24-01 FINDING AN ENVIRONMENTAL EXEMPTION FOR THE PROPOSED PROJECT PURSUANT TO SECTION 15303 OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) GUIDELINES**

2030 VISION STATEMENT:

The project is consistent with the City's General Plan Goal 2.2 Preserve and enhance the quality and character of the City's residential neighborhoods by Policy 2.2.2-All residential developments shall comply with the goals and policies of the Housing Element of the General Plan.

PROPOSAL:

The Applicant, Ethan Namvar, representing Luis Macias, is requesting approval of Site & Architectural Review 24-01 to construct a new single-family primary home with an attached two-car garage, porch, and covered patio. The Applicant also requests to convert the existing residence located at the rear of the property into an Accessory Dwelling Unit (ADU). The subject property is approximately 0.23-acres in size and is in the R1-7.2- Single Family Residential Zoning District. The Applicant will also be making site improvements in the form of landscaping, driveway, curb and gutter and sidewalk.

An existing utility shed on the subject property will be demolished.

SITE AND SURROUNDING AREA:

The subject property currently has a 774 square foot residence located at the rear of the property and a shed. There is a 15-foot sewer easement owned by Colton Sewer and Water that runs through the property. The property fronts Van Buren Street and the site is surrounded by single-family home to the north, south, east, and west all zoned R1-7.2- Single Family Residential.

ANALYSIS:

General Plan and Zoning Consistency

The proposed development is consistent with the zoning as it is intended for very low single family detached residential uses, and it meets the Municipal Code development standards as the proposed use is permitted and meets building height, lot coverage, setbacks and minimum living area. The proposal is also consistent with the Housing Element which encourages infill housing and private development of underutilized land for residential construction. All findings of fact required by the Municipal Code to approve this development are included in “**EXHIBIT A**” to *Attachment 1*.

Site Plan/Grading/Improvements

The site design conforms to setbacks, height limits, and lot coverage requirements of the R1-7.2- Single Family Residential District. Improvements include but are not limited to concrete driveway, required parking, porch, entry, landscape, and fencing

Landscape Plan

The landscape plan shows a new pepper tree and St. Augustine Grass that provide color and interest to the landscape. A final landscape and irrigation plan in accordance with the City’s Water Efficient Landscape Ordinance will be required and landscape improvements shall be completed prior to final inspection. The landscape plans are provided as “**EXHIBIT B**” to *Attachment 1*.

Architectural Elevations/Floor Plans

The architectural elevations show a one-story home with traditional style features. The floor plan identifies one master bedroom, two additional bedrooms, dining area, lounge, and two bathrooms. A two-car-attached garage plus a covered patio and porch. The architectural plans are provided as “**EXHIBIT B**” to *Attachment 1*.

AGENCY REVIEW:

The plans were distributed to Building and Safety, Public Works, Colton Sewer and Water for review and all comments and conditions were addressed and incorporated into the Conditions of Approval which are provided as “**EXHIBIT C**” to *Attachment 1*.

ENVIRONMENTAL REVIEW:

The Project to construct a single-family unit is categorically exempt per the California Environmental Quality Act, Code of Regulations, Title 14, Section 15303, which exempts new construction or conversion of small structures, 15303 (a) One single family residence, or a second dwelling unit in a residential zone. In urbanized areas, up to three single-family residences may be constructed or converted under this exemption. A Notice of Exemption has been included for adoption and is provided as “**EXHIBIT D**” to *Attachment 1*.

PUBLIC NOTICE:

Public notice was published in the *Grand Terrace City News* and mailed to property owners within 500 feet of the site. In addition, a copy of the notice was posted in three public places.

To date, City staff have received one request to review the plans. The request questioned the location of the property line and the sewer easement on parcel 1167-261-45. The location of easement along with the property line were verified with the engineer of record and are accurately shown on the grading plan.

CONFLICT OF INTEREST:

None. All members of the Grand Terrace Planning Commission/Site and Architectural Review Board reside more than 500 feet away from the subject property located at 22222 Van Buren Street.

CONCLUSION:

The proposed single-family home, site improvements, and accessory dwelling unit conversion are consistent with the General Plan Land Use, the Municipal Code, and the Government Code for single family development. The construction of the single-family residence and garage with site improvements will complement and enhance the surrounding area. Therefore, staff recommends that the Planning Commission/Site And Architectural Review Board adopt the Resolution provided at *Attachment 1* and approve the project.

ATTACHMENTS:

1. Resolution

RESOLUTION NO. 2024-__

A RESOLUTION OF THE PLANNING COMMISSION/SITE AND ARCHITECTURAL REVIEW BOARD OF THE CITY OF GRAND TERRACE, CALIFORNIA, APPROVING SITE AND ARCHITECTURAL REVIEW 24-01 (SA 24-01), ADMINISTRATIVE SITE AND ARCHITECTURAL REVIEW 24-10 (ASA 24-10), AND ENVIRONMENTAL REVIEW 24-01 (ENV 24-01) FOR A NEW ONE-STORY SINGLE-FAMILY RESIDENCE AND THE CONVERSION OF THE EXISTING RESIDENCE INTO AN ACCESSORY DWELLING UNIT AT 22222 VAN BUREN STREET (APN: 1167-261-45-0000)

WHEREAS, Ethan Namvar (“Applicant”) representing Luis Macias (“Property Owner”), has filed an application for Site and Architectural Review 24-01 (SA 24-01), Administrative Site and Architectural Review 24-10 (ASA 24-10), and Environmental Review 24-01 (ENV 24-01) including the Notice of Exemption pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15303(a) Class 3 (New Construction or Conversion of Small Structures); and

WHEREAS, the subject property is zoned R1-7.2 Single-Family Residential and is located at 22222 Van Buren Street (APN: 1167-261-45-0000); and

WHEREAS, the City of Grand Terrace wishes to protect and preserve the quality of the residential properties of the City, as well as the quality of life throughout the City, through effective land use and planning; and

WHEREAS, Section §18.63.010 of the Grand Terrace Municipal Code states that a Site and Architectural Review application provides a process for reviewing all major new construction projects, and the process calls for the review of the design of the development, an identification of potential impacts on the surrounding properties, and an assurance that the proposed Project complies with the provisions of the Zoning Code and General Plan; and

WHEREAS, Section §18.63.020 of the Grand Terrace Municipal Code identifies the Site and Architectural Review Board the approval authority for all residential Site and Architectural Review applications; and

WHEREAS, Site and Architectural Review No. 24-01 (SA 24-01), Administrative Site and Architectural Review No. 24-10 (ASA 24-10), and Environmental Review (ENV 24-01) including the Notice of Exemption, are collectively referred to as the “Project”; and

WHEREAS, the application for Site and Architectural Review 24-01 (SA 24-01) is for a new one-story, single-family primary residence and site improvements at 22222 Van Buren Street (APN: 1167-261-45-0000); and

WHEREAS, the application for Administrative Site and Architectural Review 24-10 (ASA 24-10) is for conversion of the existing one-story single-family residence into an accessory dwelling unit at 22222 Van Buren Street (APN: 1167-261-45-0000); and

WHEREAS, the City of Grand Terrace, as Lead Agency has completed Environmental Review 24-01 (ENV 24-01) and determined this Project is not subject to the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303(a) (New Construction or Conversion of Small Structures); and

WHEREAS, the City of Grand Terrace, as Lead Agency, has prepared a Categorical Exemption for the Project; and

WHEREAS, on October 17, 2024, the Planning Commission conducted a duly noticed public hearing on the Project at the Grand Terrace Council Chambers located at 22795 Barton Road, Grand Terrace, California 92313; and concluded the hearing on said date; and

WHEREAS, all legal prerequisites to the adoption of this Resolution have occurred.

NOW THEREFORE, BE IT RESOLVED by the Planning Commission/Site and Architectural Review Board of the City of Grand Terrace:

SECTION 1. The recitals set forth above are true and correct and incorporated herein by this reference.

SECTION 2. The findings for Site and Architectural Review 24-01 (SA 24-01) and Administrative Site and Architectural Review 24-10 (ASA 24-10) pursuant to Grand Terrace Section §18.63.060 of the Grand Terrace Municipal Code can be made supporting the project application as follows:

- 1) The proposed project is consistent with the intent of this code and the general plan; and,
- 2) The location and configuration of all structures associated with this project are visually harmonious with this site and surrounding sites and structures, that they do not interfere with the neighbors' privacy, that they do not unnecessarily block scenic views from other structures and/or public areas and are in scale with the townscape and natural landscape of the area; and,
- 3) The architectural design of structures, their materials and colors are visually harmonious with surrounding development, natural landforms, are functional for the proposed project and are consistent with this code; and,
- 4) The plan for landscaping and open spaces provides a functional and visually pleasing setting for the structures on this site and is harmonious with the natural landscape of the area and nearby developments; and,
- 5) There is no indiscriminate clearing of property, destruction of trees or natural vegetation or the excessive and unsightly grading of hillsides, thus the natural beauty of the city, its setting and natural landforms are preserved; and,
- 6) The design and location of all signs associated with this project are consistent with the scale and character of the building to which they are attached or otherwise associated with and are consistent with this code; and,
- 7) Conditions of approval for this project necessary to secure the purposes of this code and general plan are made a part of this approval.

- 8) The project is compliant with the California Environmental Quality Act (CEQA).

The factual findings for which are attached as “**EXHIBIT A**” to this Resolution and incorporated herein by this reference.

SECTION 3. Based on the findings and conclusions set forth above, this Commission hereby approves Resolution No. 24-___ for the following:

- a. Site and Architectural Review No. 24-01 (SA 24-01) for a new single-family home located at 22222 Van Buren Street (APN: 1167-261-45-0000) in the R1-7.2 Single Family Residential Zone as depicted on the comprehensive architectural design package included as “**EXHIBIT B**” of this Resolution; and, subject to the Conditions of Approval for Site and Architectural Review 24-01 (SA 24-01), which are included as “**EXHIBIT C**” to this Resolution and incorporated herein by this reference; and
- b. Administrative Site and Architectural Review 24-10 (ASA 24-10) for a detached accessory dwelling unit located at 22222 Van Buren Street (APN: 1167-261-45-0000) in the R1-7.2 Single Family Residential Zone as depicted on the comprehensive architectural design package included as “**EXHIBIT B**” of this Resolution; and, subject to the Conditions of Approval for Administrative Site and Architectural Review 24-10 (ASA 24-10), which are included as “**EXHIBIT C**” to this Resolution and incorporated herein by this reference; and
- c. Environmental Review 24-01 (ENV 24-01) for a 15303 (a) Class 3 Categorical Exemption which consists of construction and location of limited numbers of new, small facilities of structure which include, but are not limited to: one single-family residence, or a second dwelling unit in a residential zone as detailed in the Notice of Exemption included as “**EXHIBIT D**” of this Resolution and incorporated herein by this reference.

SECTION 4. The Project entitlements Site and Architectural Review 24-01 (SA 24-01) and Administrative Site and Architectural Review 24-10 (ASA 24-10) shall become effective following the expiration of a ten (10) calendar day appeal period without filing of an appeal application from the date of Planning Commission/Site and Architectural Review Board and the Applicant signing and returning to the City a signed acceptance of conditions of approval.

SECTION 5. Site and Architectural Review 24-01 (SA 24-01) and Administrative Site and Architectural Review 24-10 (ASA 24-10) shall expire two (2) years from the date of its approval unless the following actions occur:

- 1) The applicant applies for a building permit and commits substantial investment in accordance with the approved plans prior to the expiration date.
- 2) The applicant has complied with all applicable conditions of approval.

In case the Applicant is not able to comply with actions 1 or 2 listed above, then the Applicant shall apply for maximum of a one (1) year extension at least sixty (60) days prior to expiration date of the initial two (2) year approval period.

SECTION 6. City staff are hereby authorized and directed to file a Notice of Exemption

(NOE) per Environmental Review 24-01 (ENV 24-01) with respect to the approval of Site and Architectural Review 24-01 (SA 24-01), and Administrative Site and Architectural Review 24-10 (ASA 24-10).

SECTION 7. If any section, subsection, subdivision, paragraph, sentence, clause, or phrase contained approved by this Resolution, or any part thereof, is for any reason held to be unconstitutional or invalid or ineffective by any court of competent jurisdiction, such decision shall not affect the validity of effectiveness of the remaining portions of this Resolution or any part thereof. The Planning Commission/Site and Architectural Review Board hereby declares that it would have passed each section, subsection, subdivision, paragraph, sentence, clause, or phrase thereof irrespective of the fact that any one or more subsections, subdivisions, paragraphs, clauses, or phrases are declared unconstitutional, invalid, or ineffective.

APPROVED AND ADOPTED by the Planning Commission/Site and Architectural Review Board of the City of Grand Terrace, California, at a regular Public Hearing held on the 17th day of October 2024.

ATTEST:

Debra L. Thomas
City Clerk

Tara Ceseña
Vice-Chair

STATE OF CALIFORNIA)
COUNTY OF SAN BERNARDINO) SS.
CITY OF GRAND TERRACE)

I Debra Thomas, City Clerk of the CITY OF GRAND TERRACE, CALIFORNIA, DO HEREBY CERTIFY that the foregoing Resolution, being Resolution No. 2024-__, was duly passed, approved and adopted by the Planning Commission/Site and Architectural Review Board, approved and signed by the Vice-Chair, and attested by the City Clerk, at the regular meeting of said Planning Commission/Site and Architectural Review Board held on the 17th day of October 2024, and that and that it was adopted by the called vote as follows:

AYES:

NOES:

ABSENT:

ABSTAIN:

RECUSE:

Executed on this 17th day of October 2024, at Grand Terrace, California.

Debra Thomas
City Clerk

EXHIBIT A

FINDINGS OF APPROVAL FOR SITE AND ARCHITECTURAL REVIEW 24-01 ADMINISTRATIVE SITE AND ARCHITECTURAL REVIEW 24-10

APPROVAL TO CONSTRUCT A NEW PRIMARY SINGLE-FAMILY RESIDENCE, CONVERSION OF THE EXISTING RESIDENCE INTO AN ACCESSORY DWELLING UNIT, AND SITE IMPROVEMENTS AT THE SINGLE-FAMILY RESIDENTIAL PROPERTY LOCATED AT 22222 VAN BUREN STREET, APN: 1167-261-45-0000.

This Project requires approval of a Site and Architectural Review pursuant to Chapter 18.63.060 (Precise Plans) of the Zoning Code, in which Section (A) includes all the necessary findings. Based on the available information, the following findings can be made:

1. **Finding:** The proposed project is consistent with the intent of the zoning code and the general plan.

Facts in Support of Finding: The single-family land use and accessory dwelling unit are permitted by right land uses within the subject R1-7.2- Single Family Zoning District. The project is compliant with the development standards for the R1-7.2- Single Family Zoning District in the City's Municipal Code.

2. **Finding:** The location and configuration of all structures associated with this project are visually harmonious with this site and surrounding sites and structures, that they do not interfere with the neighbors' privacy, that they do not unnecessarily block scenic views from other structures and/or public areas and are in scale with the townscape and natural landscape of the area

Facts in Support of Finding: The proposed structures are designed to harmonize with the architectural styles of the surrounding area, maintaining appropriate setbacks.

3. **Finding:** The architectural design of structures, their materials and colors are visually harmonious with surrounding development, natural landforms, are functional for the proposed project and are consistent with this code.

Facts in Support of Finding: The Project to construct a single-family home and convert the existing residence into an accessory dwelling unit are consistent with the surrounding development in design, materials, and colors.

4. **Finding:** The plan for landscaping and open spaces provides a functional and visually pleasing setting for the structures on this site and is harmonious with the natural landscape of the area and nearby developments.

Facts in Support of Finding: The landscaping and open space plan creates a functional and aesthetically pleasing environment that complements the proposed structures. By incorporating native plants and thoughtful design elements, the plan harmonizes with the natural landscape and aligns well with nearby developments.

5. **Finding:** There is no indiscriminate clearing of property, destruction of trees or natural vegetation or the excessive and unsightly grading of hillsides, thus the natural beauty of the city, its setting and natural landforms are preserved.

Facts in Support of Finding: The project avoids indiscriminate clearing and preserves the existing home which is to be converted into an accessory dwelling unit to the new primary single-family home, and thus ensuring that excessive grading is not performed. This approach maintains the natural beauty of the city and its surrounding landforms.

6. **Finding:** The design and location of all signs associated with this project are consistent with the scale and character of the building to which they are attached or otherwise associated with and are consistent with this code.

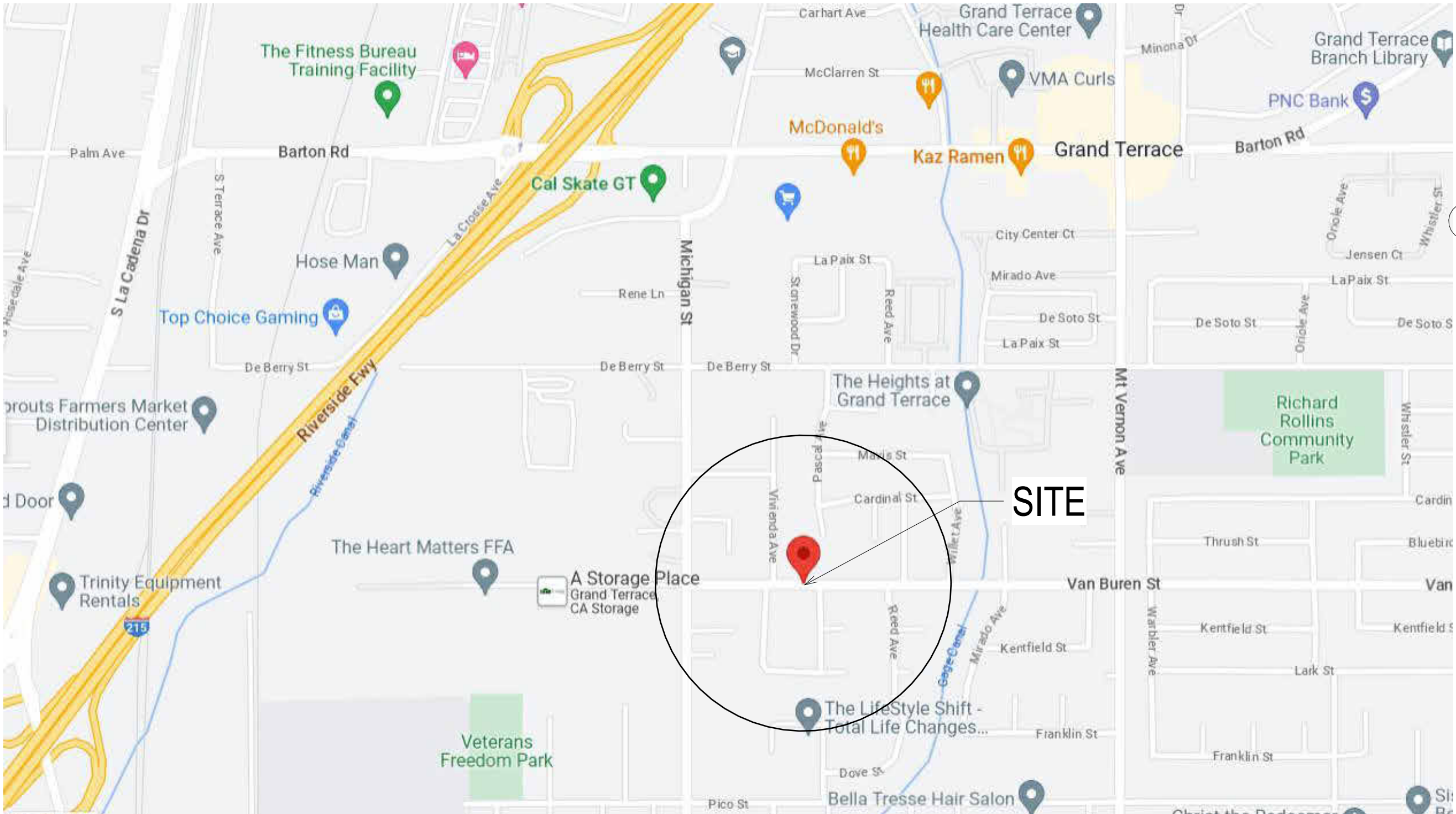
Facts in Support of Finding: As there are no signs associated with this project, the design and scale of the building naturally align with the surrounding context, ensuring harmony with the character of the area and compliance with local codes.

7. **Finding:** Conditions of approval for this project necessary to secure the purposes of this code and general plan are made a part of this approval.

Facts in Support of Finding: The conditions of approval incorporated into this project ensure compliance with the local zoning code and general plan and ensure appropriate permits are obtained and fees paid.

8. **Finding:** The project is compliant with the California Environmental Quality Act (CEQA).

Facts in Support of Finding: The Planning Commission/Site and Architectural Review Board hereby finds that pursuant to Environmental Review 24-01 (ENV 24-01) the project is categorically exempt from CEQA. Pursuant to CEQA Guidelines Section 15303(a) (New Construction or Conversion of Small Structures) the single-family home and accessory dwelling unit qualify for the exemption.



VACINITY MAP

NTS

PROJECT ADDRESS: 22222 VAN BUREN ST, GRAND TERRACE, CA, 92313
APN: 116726145
PROJECT DESCRIPTION: NEW SFR
LEGAL DESCRIPTION: TRACT/PARCEL MAP NUMBER - M.B. 188/48-49
LOT NUMBER - 1
ZONING: R1-7.2
PROPOSED LAND USE: SINGLE FAMILY RESIDENTIAL
OCCUPANCY: R-3
CONSTRUCTION TYPE: VB
GARAGE OCCUPANCY: U
STORIES: 1
AUTOMATIC SPRINKLERS: YES
FIRE HAZARD SEVERITY ZONE: NO
PV SOLAR: YES - UNDER SEPERATE APPLICATION

SITE AREA: 0.23 ACRES / 10 019 SQ FT
LOT COVERAGE: 2936 SQ FT
% COVERED: 29%
LOT COVERAGE ALLOWABLE: 50% (5009 SQ FT)

TOTAL AREAS:
EXISTING AREA
(E) ADU: 774 SQ FT
(E) ADU PORCH: 51 SQ FT
(E) SHED: 96 SQ FT
(E) AREA: 921 SQ FT
NEW AREA
(N) HOUSE: 1357 SQ FT
(N) PORCH: 60 SQ FT
(N) GARAGE: 438 SQ FT
(N) COVD PATIO: 170 SQ FT
(N) ADDED AREA: 2025 SQ FT
TOTAL AREA: 2946 SQ FT

Area Schedule (New)	
Name	Area
ADU PORCH	51 ft²
SFR PORCH	60 ft²
SHED	96 ft²
SFR COVD PATIO	170 ft²
SFR GARAGE	438 ft²
ADU LIVING	774 ft²
SFR LIVING	1357 ft²
Grand total	2946 ft²

Sheet Index	
Sheet Number	Sheet Name
A0.1	Architectural COVER SHEET
A1.1	SITE PLAN
A2.1	FIRST FLOOR PLAN
A3.1	ELEVATIONS
A4.1	SECTIONS
C1	Civil GRADING & DRAINAGE PLAN
C2	EROSION & SEDIMENT CONTROL PLAN
L1	Landscaping LANDSCAPING
S0.0	Structural STRUCTURAL GENERAL NOTES
S0.1	STRUCTURAL GENERAL NOTES
S1.0	FOUNDATION PLAN
S2.0	ROOF FRAMING PLANS
S3.0	STRUCTURAL DETAILS
S4.0	FOUNDATIOF DETAILS
SC0.0	COVER SHEET
T-24.0	Title 24 TITLE 24
T-24.1	TITLE 24

GENERAL NOTES:

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- AS-BUILT CONDITIONS TO BE VERIFIED
- DRAWINGS REPRESENT DESIGN INTENT ONLY - CONTRACTOR RESPONSIBLE FOR MEANS AND METHODS



Project Address

22222 VAN BUREN ST,
GRAND TERRACE, CA,
92313

Client

LUIS MACIAS

Revision Schedule

Revision Number	Revision Description	Revision Date
1	1st CITY COMMENTS	02-15-24
2	2nd CITY COMMENTS	04-22-24

OWNER
Name: Luis Macias
Contact Address: 22222 Van Buren St, Grand Terrace, California 92313 (909) 238-6260
email: maciasluis107@yahoo.com

DESIGNER
Name: Hedgemon PD, LLC
Contact Address: 5000 Birch St, Suite 3000, Newport Beach, CA 92660 (949) 444 2295
email: info@hedgemonpd.com

STRUCTURAL ENGINEER
Name: K&K Engineering & Development Inc.
Contact Address: 17595 Harvard Ave., Ste C-734, Irvine, CA 92614 (310) 404-1834
email: ka@kkstruct.com

TITLE 24 CONSULTANT
Name: Southland Energy Consultants
Contact Address: 361 Calle Borrego, San Clemente CA 92672 (949) 497 3591
email: paulk@southlandlb.com

GENERAL NOTES min requirements

All dimensions pertaining to the structural integraty of the structure are for information only. The appointed engineer must specify allfoundations, depth of founds, backfill, reinforced conc slabs, lintols, brickforce and all matters relating to the structural stability of the proposed works
Should the engineer specify something different to what has been dimensioned then the pr engineers specification must supercede the noted dimensions. The discrepancies must be reported to the author prior to construction.

All work shall be in compliance with all applicable local building codes & regulations. Contractor shall be responsible for permits applicable to specific trades or subcontractors.

Contractors will have examined the premises and site so as to compare them with the drawings and will have satisfied himself/herself as to the condition of the adjacent property prior to submission of bid. No allowances will subsequently be made on behalf of the contractor by reason of any omission on his part to include the costs of all items of work, either labor or materials, whether they are or are not shown or noted but which are implied or required to attain the completed conditions proposed in the drawings.

All subcontractors to the general contractor shall inspect the site and shall convey aqny questions regarding design intent and scope of work to the architect prior to submitting bid and prior to commencing work.

Contractor shall coordinate the work of the various trades and subcontractors and shall be responsible for any acts, omission, or errors of the subcontractor and of persons directly or indirectly employed by them.

Contractor to assume sole responsibility for job site conditions including safety of persons and property for the duration of the project.

Contractor to notify architect immediately and prior to ordering of all long lead items and of approximate delivery dates.

All construction materials and supplies to be stored, handles and installed according to manufacturers recommendations.

If errors or omissions are found in the drawings, they shall be brought to the attention of the architect before proceeding with the work.

Drawings schamtically indicate new construction. The contractor should anticipate, based on experience, a reasonable number of adjustments to be necessary to meet the design objectives and should consider such adjustments as included in the scope.

When specific feature of construction are not fully shown on the drawings or called for in the general notes, their construction shall be the same character as similar conditions

These notes to apply to all drawings and govern unless more specific requirements are indicated applicable to particular division of the work. See specifications and general notes in the subsections of these drawings.

Contractor shall provide, erect and maintain all temporary barriers and guards, and temporary shoring and bracing as required by all city and state regulations.

Contractor to provide adequate weather protection for the building and its contents during the course of work.

Engineers notes:

All dimensions pertaining to the structural integraty of the structure are for information only. The appointed engineer must specify all foundations, depth of founds, backfill, reinforced conc slabs, lintols, brickforce and all matters relating to the structural stability of the proposed works. The engineer is to provide detailed drawings of such specifications and is to certify all work that he is responsible for.

Should the engineer specify something different to what has been dimensioned then the pr engineers specification must supercede the noted dimensions. The discrepancies must be reported to the author prior to construction.

All walls and lintels to engineers details.
Foundations to comply with the design requirements made by the Engineer in the Geotechnical Engineers report, If needed.
All Roofs and walls to Engineers details.

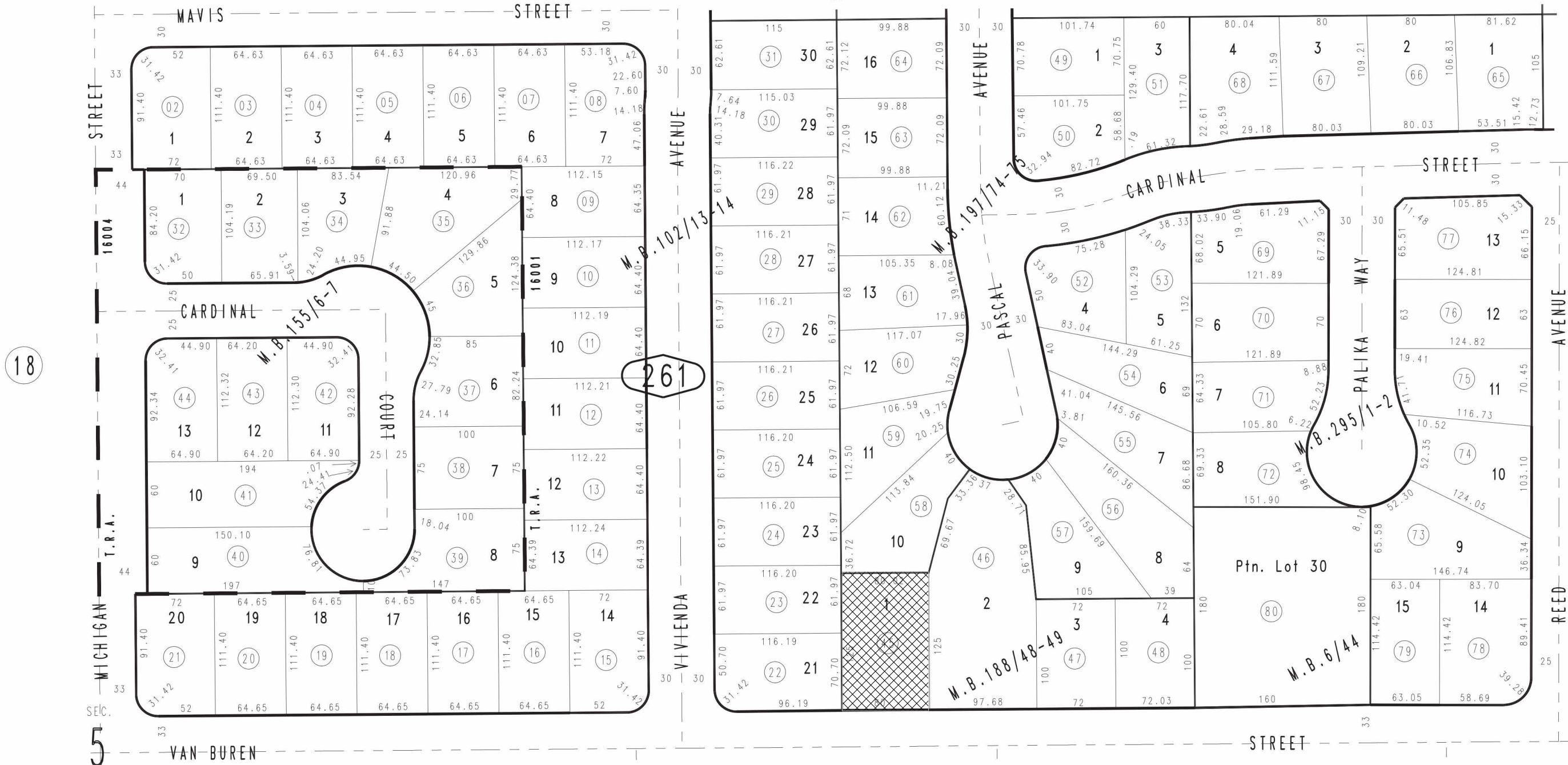
Applicable Codes:
2022 California Residential Code
2022 California Building Code
2022 California Mechanical Code
2022 California Plumbing Code
2022 California Fire Code
2022 California Electrical Code
2022 California Energy Code
2022 California Green Building Code
City of Grand Terrace Municipal Code

NB: Should the contractor/builder be unsure of any of the regulations as noted above or wish to ammend any of the above, written notification to the author must be made in order to obtain approval from the relevant authority.

All cadastral boundary pegs must be exposed and flagged prior to the site being handed over for any works to commence, and must remain exposed and flagged through out the construction period. The Land Surveyor must place the site number plate identifying the site, on the street facing boundary at the midway mark.

Provide portable toilet and hand was station as per OSHA regulations

Front yard landscaping and irrigation shall be installed prior to issuance of a Certificate of Occupancy



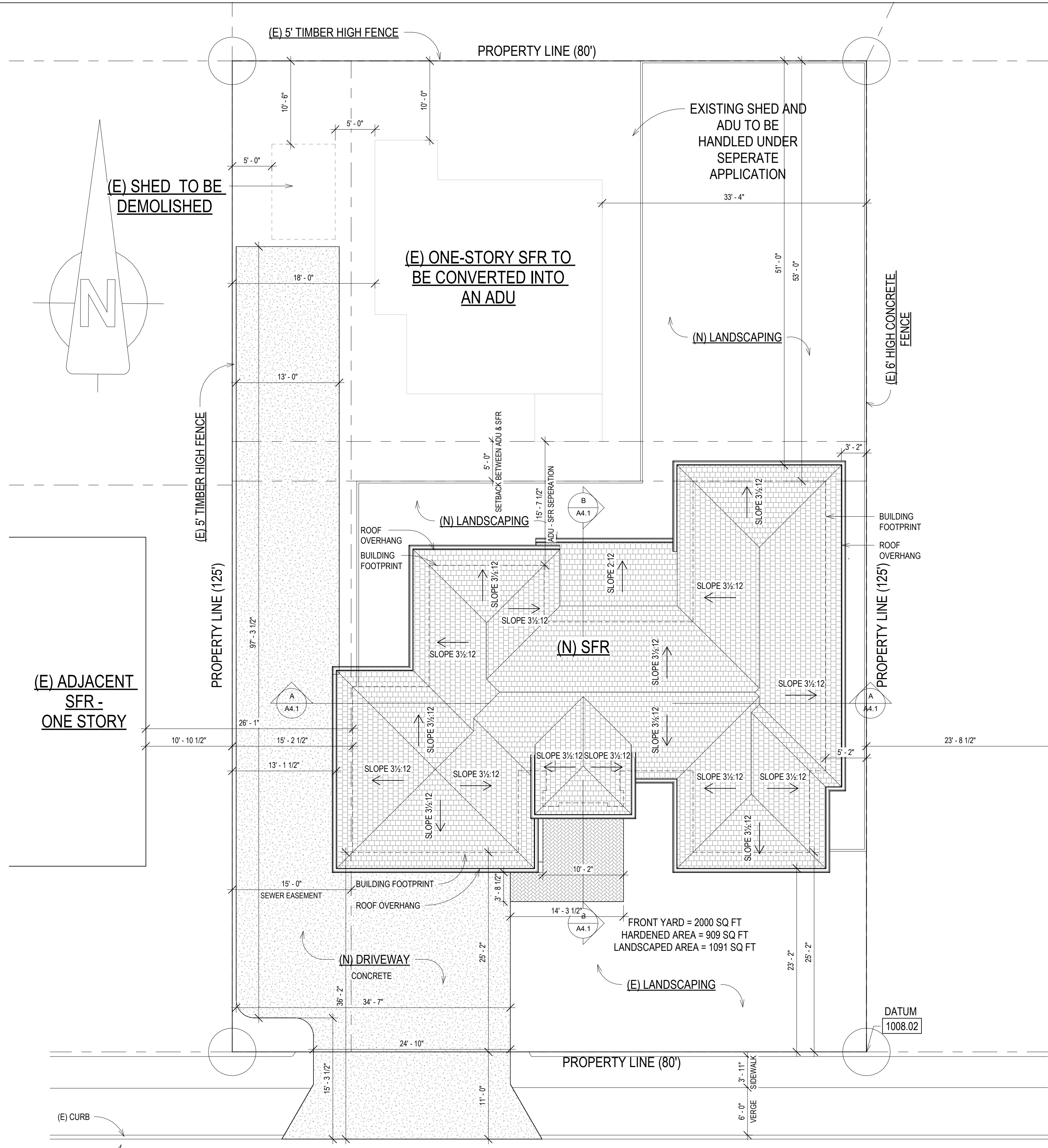
ASSESSORS MAP

NTS

A0.1

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ARCH D

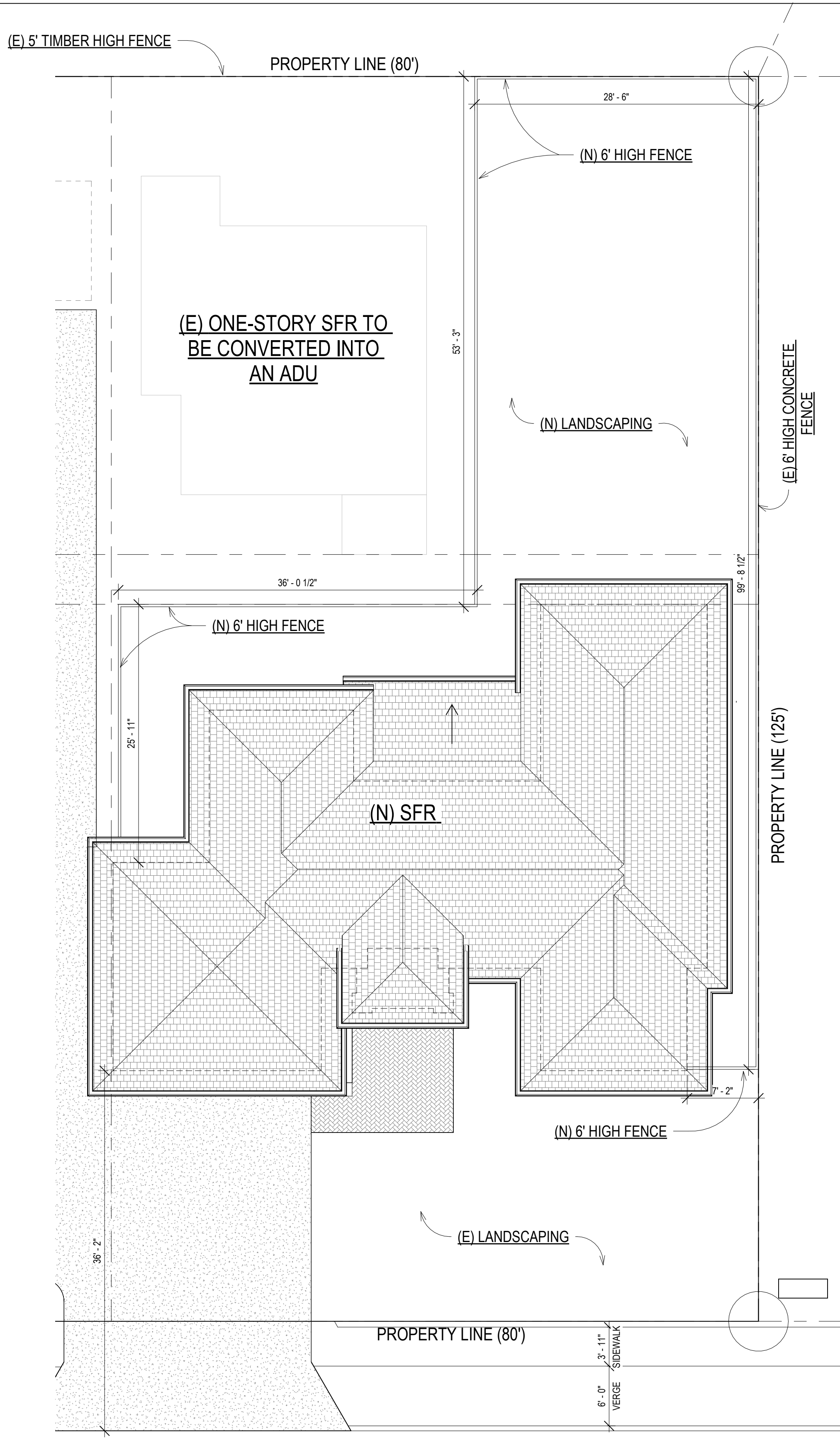


SITE PLAN

VAN BUREN ST

SITE NOTES:

- All notes labelled *not in permit (nip)* are not part of this application. These are carried over from the rhodes CPD.
- Soil excavation, recompaction, and grading to follow parameters stated in the geological report/update prepared by Professional Engineering Consulting, INC Dated .
- All new graded slopes shall be no steeper than 2H:1V.
- All surface water must drain away from the building, a minimum of 5% within the first 10' horizontal (2% for impervious surfaces).
- All loose foundation excavation material shall be removed prior to commencement of framing. Slopes disturbed by construction activities shall be restored.
- All retaining walls shall be provided with a subdrain system to prevent possible hydrostatic pressure behind wall.
- All roof and pad drainage shall be conducted to the street in an acceptable manner. If water shall be dispersed on to desending slopes, acquire specific approval from the grading section and the consulting deologist and/or soil engineer.
- All deck drainage shall be collected and conducted to an approved location in a non-erosive device.
- Contractor to review both the proposed site drainage conditions and notify the architect of any discrepancies or conditions that do not allow for positive drainage away from the building and other structures. Do not commence site drainage work until all discrepancies and conditions have been reviewed by the architect.
- All piping shall be 4" diameter, U.O.N. Notify the architect of discrepancies or undersized piping systems.
- All solid drainage piping shall have a minimum slope of 2% U.O.N.
- 5% drainage around/away from the building for a minimum distance of 10'. Alternatively, swales with slope of 2% shall be loctaed within 10' of the building foundation.
- All existing trees to remain, U.O.N. Protect exisiting trees during construction operations, as needed.
- Architect to verify all drain locations prior to their installation.
- See grading plan for all spot elevations.
- Fire sprinkler is required and will be on seperate permits..
- Electrical service panel to be under separate permit.
- Water quality best managment practices features to utilized on the site.
- All hose bibs must have an approved anti-syphon backflow prevention device. CPC 603.3, 603.2.3 & 603.4.7.



VAN BUREN ST

FENCE PLAN

2
A1.1
1/8" = 1'-0"

GENERAL NOTES:

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Project Address

**22222 VAN BUREN ST,
GRAND TERRACE, CA,
92313**

Client

LUIS MACIAS

Revision Schedule		
Revision Number	Revision Description	Revision Date

Title

SITE PLAN

Project # 23/28

Date 09/16/24

Revision #

Scale As indicated

Drawing #

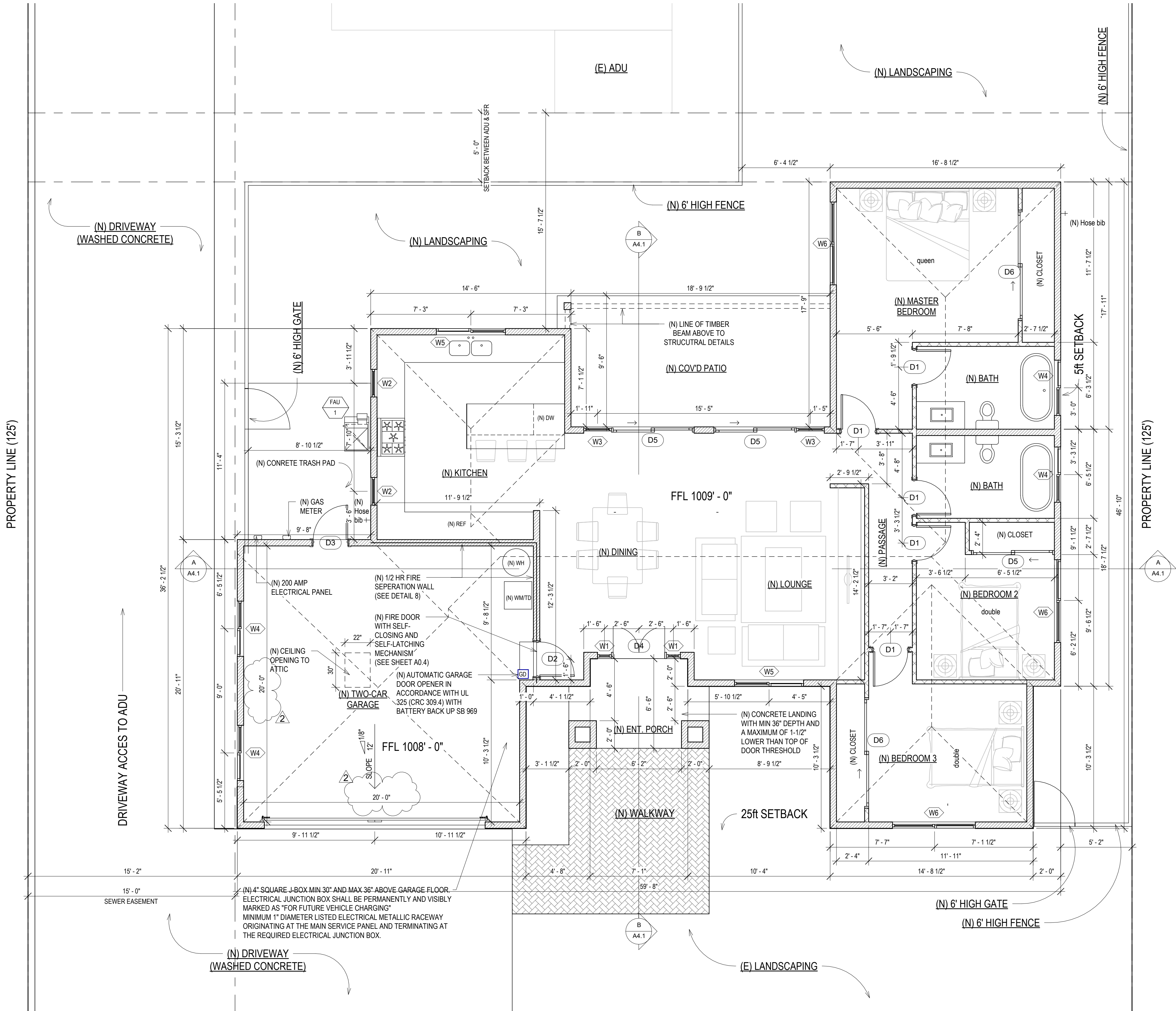
A1.1

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ARCH D

WALL LEGEND

- NEW WALLS - EXTERIOR WALLS - 2 X 6
- NEW WALLS - INTERIOR WALLS - 2 X 4
- NEW FIRE WALLS - 1/2 HR FIRE RATED SEPERATION WALL



PLAN NOTES:

- All doors and windows dimensioned to the centreline of clear opening. All non dimensioned windows to be centred in the clear opening. Where location of windows and doors are not dimensioned they shall be placed 6" from the F.O finish of adjacent wall as indicated on the drawings.
- All casework dimensions to face of finish.
- The reticulation sections of domestic hot water systems must be insulated (the entire length of piping, whether buried or exposed).
- Water heaters are to be strapped or have a rigid connection to an adjacent wall. See title 24 for water heater specification.
- All insulation material shall be certified by the manufacturer as complying with the california quality standards for insulation material. Doors and windows between condition and unconditioned space shall be full weather stripped.
- An approved seismic shutoff valve will be installed on the fuel gas line on the down stream side of the utility meter and be rigidly connected to the exterior of the building or structure containing the fuel gas pipe.
- All deck surfaces shall be sloped a minimum of 1/4" per foot U.N.O.
- Exterior doors only to open outwards if exterior door landing is not more than 0.5" lower than the door threshold.
- Provide minimum 70" high non-absorbent wall adjacent to shower and approved shatter resistance materials for the shower enclosure.
- Manufactured doors and windows shall be certified and labeled indicated compliance with the appropriate infiltration standards. Caulk plumbing and electrical penetrations penetrations, all window and door frames, between wall soleplated and floors, and all other openings in the envelope.
- All exterior opening (and openings between heated and unheated areas) shall be properly weather stripped, certified and labelled. Provide vinyl bead type weather strip at these doors and windows, all sides of the door must be weatherstripped, including the threshold.
- Caulk and seal opening in building exterior 1/8" or greater to prevenet air infiltration.
- Where required, provide minimum insulation of R-13 at exterior walls, and R-30 in roof and ceiling areas.
- Provide wood blocking as required at all wall base installations, refer to detail sheets for wall base details.
- Provide additional plywood sheathing on all walls to receive plywood shear-wall sheathing to completely flush out substrate surface(s). Additional sheathing shall exactly match the thickness of the shear-wall sheathing required. Additional sheathing shall continue along all until junction with a perpendicular wall or end of wall, or as directed by the designer.
- Slope framing or provide decking/substrate as required to provide sploe as indicated and positive drainage towards drains.
- Stucco over wood sheathing shall include two layers of grade "D" building paper.
- All gypsum board shall be 5/8" thick, type "X", O.U.N.
- All gypsum and/or plaster surfaces shall be smooth, continuous, free of imperfections, and with no visible joints, U.O.N.
- Member penetrations shall comply with section R302.4.1. where wall are required to have fire-resistance rating, recessed fixtures shall be installed so that the required fire-resistance rating will not be reduced.
- Shower wall coverings shall be nonabsorbant such as cement plaster, tile or approved equal to 72" above floor at shower or tubs with showers.
- Glass shower enclosure doors and panels must be labeled safety glazing, additionally, shower doors must swing outwards (CRC R308.1, R308.4 and CPC 411.7).
- Cement, fibre-cement, fibre-mat reinforced cement, glass mat gypsum or fibre reinforced gypsum backers shall be used as a base for wall tile in tub and shower areas and wall and ceiling oanelns in shower areas.
- Shower shall be provided with mixing valve that will provide scald and thermal shock protection in accordance with ASSE 1016 or ASME A112.18.1 / CSA B125.1 (CPC 498.3)
- Ferrous materials are prohibited for water pipe and fittings when installed in the ground unless a soil analysis is provided to show that soil conditions will not be damaging to the piping material (S.C.S.C. 15.20.020 and CPC 604).
- Cast iron shall not be used in exterior buried gas piping systems. Ferrous gas piping is not permitted to be installed underground unless a soil analysis is provided to show that soil conditions will not be damaging to the piping material (S.C.S.C. 15.20.020 and CPC 1208.5).
- Exterior walls shall be ignition resistant or non-combustable and to comply with CRC R337.7.3.
- Screens covering vents shall have maximum mesh of 1/8" and shall be corrsion resistant metal to comply with CRC R337.6.2
- Roof gutters shall be screened to prevent the accumulation of leaves and Debris to comply with CRC R337.5.4

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Project Address

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92313

Client

LUIS MACIAS

Revision Schedule		
Revision Number	Revision Description	Revision Date
2	2nd CITY COMMENTS	04-22-24

Title

FIRST FLOOR PLAN

Project # 23/28

Date 09/16/24

Revision # 2

Scale As indicated

Drawing #

A2.1

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ARCH D

1 1ST FLOOR PLAN

A2.1 1/4" = 1'-0"

(N) SHINGLES ROOFING
MANUFACTURER: GAF TIMBERLINE HDZ
COLOR NAME: HICKORY
SEE SPEC SHEET ON A9.2 FOR
MORE INFORMATION

(N) STUCCO TYPE 1

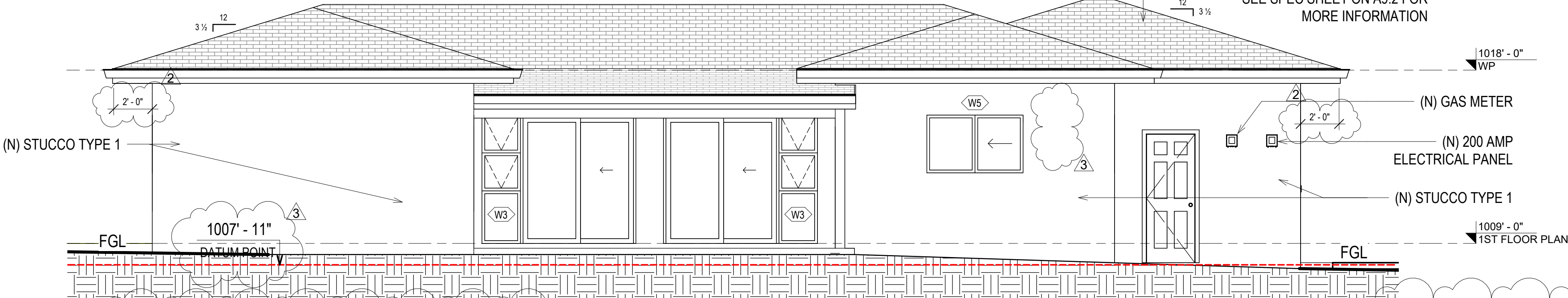
(N) ADDRESS
NUMBERNG TO BE
BACKLIT WITH
AUTOMATIC LIGHTING

(N) STONE PLINTH

FGL

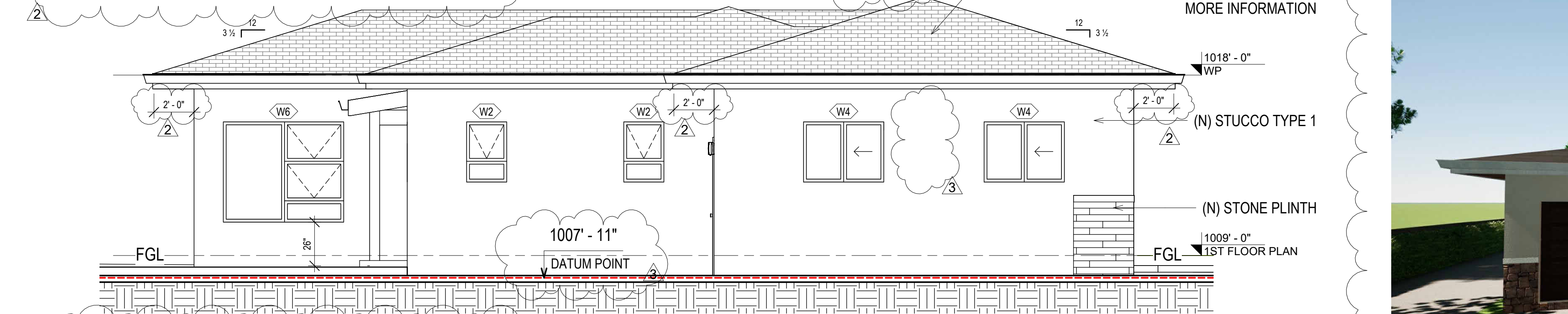
SOUTH ELEVATION

1
A3.1
1/4" = 1'-0"



NORTH ELEVATION

2
A3.1
1/4" = 1'-0"



WEST ELEVATION

4
A3.1
1/4" = 1'-0"

(N) SHINGLES ROOFING
MANUFACTURER: GAF TIMBERLINE HDZ
COLOR NAME: HICKORY
SEE SPEC SHEET ON A9.2 FOR
MORE INFORMATION

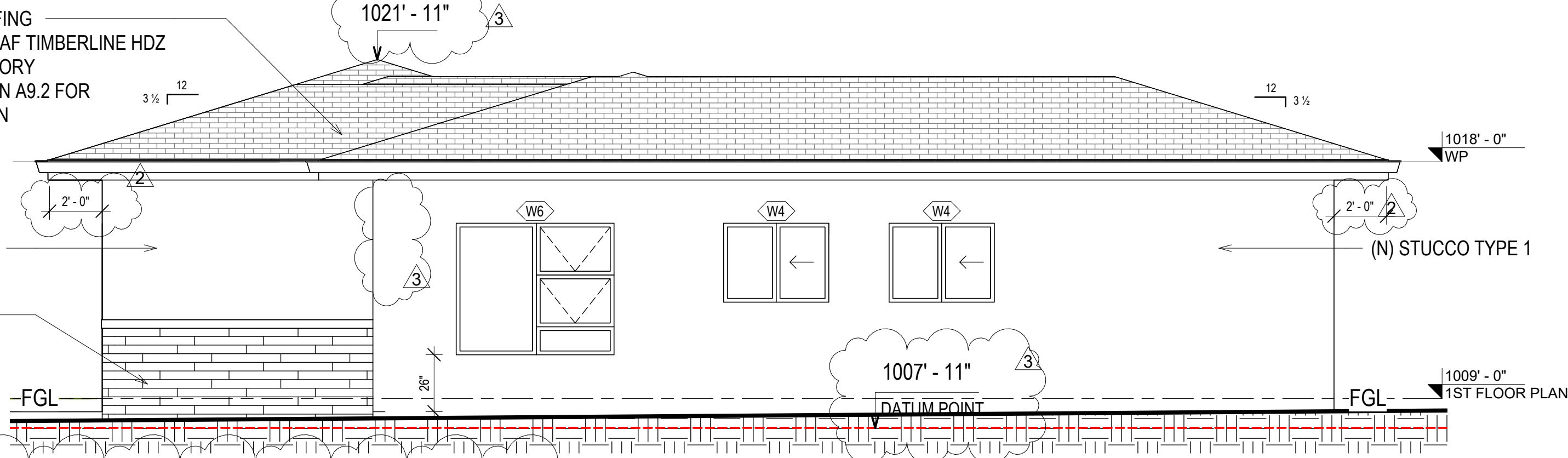
(N) STUCCO TYPE 1

(N) STONE PLINTH

FGL

EAST ELEVATION

3
A3.1
1/4" = 1'-0"

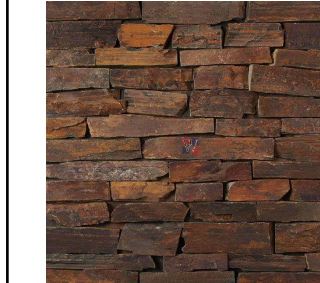


General Finishes:

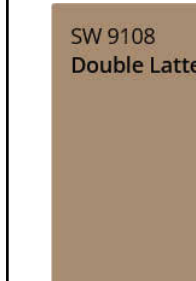
Stucco Type 1 - SW 6106 Kilim Beige



Type 3 - Travertine Veneer - California Gold
Slate Loose Veneers)



Trim & Shutters - SW 9108 Double Latte



Front Door - SW 7020 Black Fox



Roof Shingles - see sheet A9.2 for details

Alumium doors & win - Dark Espresso

Stucco - 16 20 MEDIUM SAND FLOAT



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5000 Birch St, Suite 3000
Newport Beach, CA 92660
Ph: 949 444 2295 email: info@hedgemondp.com

Project Address

22222 VAN BUREN ST,
GRAND TERRACE, CA,
92313

Client

LUIS MACIAS

Revision Schedule

Revision Number	Revision Description	Revision Date
2	2nd CITY COMMENTS	04-22-24
3	3rd CITY COMMENTS	07-09-24

Title

ELEVATIONS

Project # 23/28

Date 09/16/24

Revision # 3

Scale As indicated

Drawing #

A3.1

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ARCH D

Attic Ventilation Required

Nett Free Cross Ventilation Area: 1/300
Vent Area Req'd = 1314 ft² / 300 ft² = 4.38 ft² x 144 = 631 in²

Roof Vents
NFVA = 71 in²
Qty = 4 Vents
Vent Area Provided = 3 x 71 in² = 284 in²

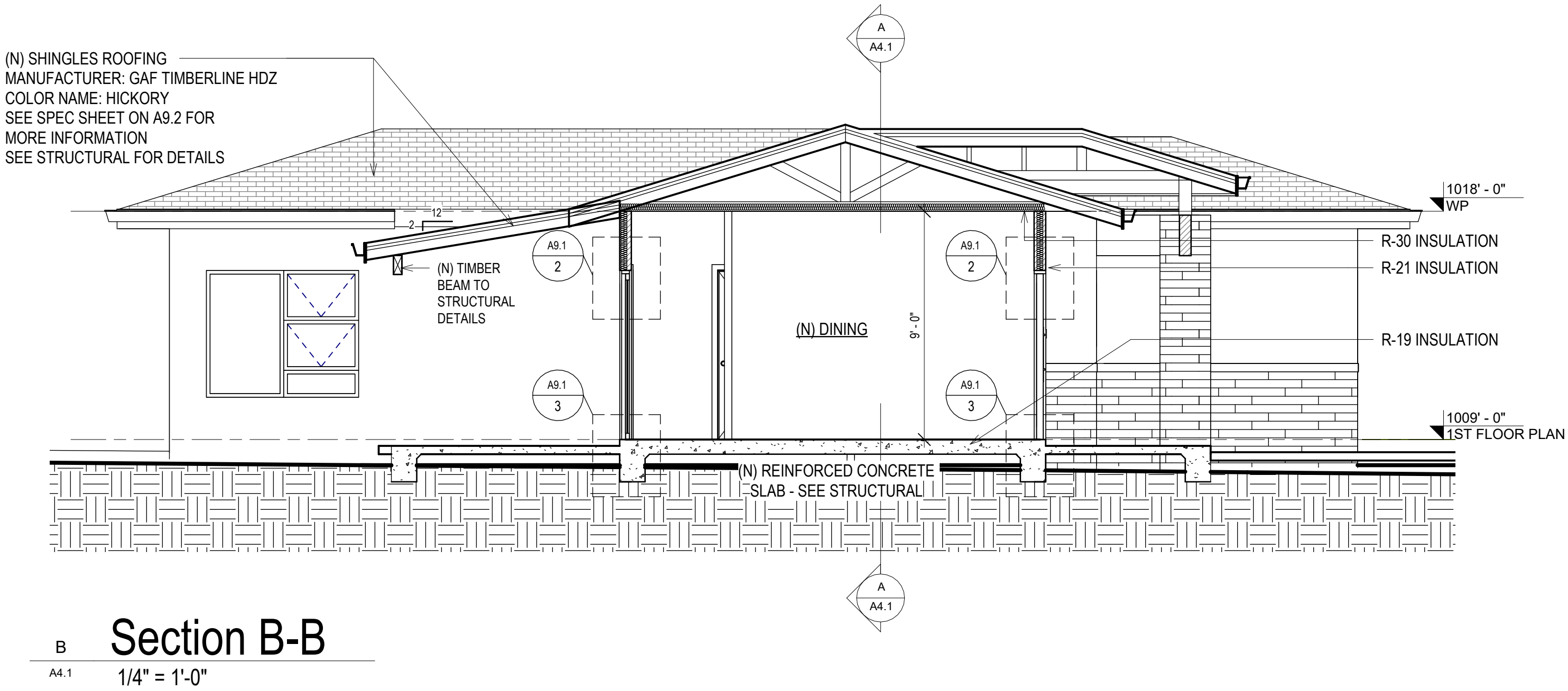
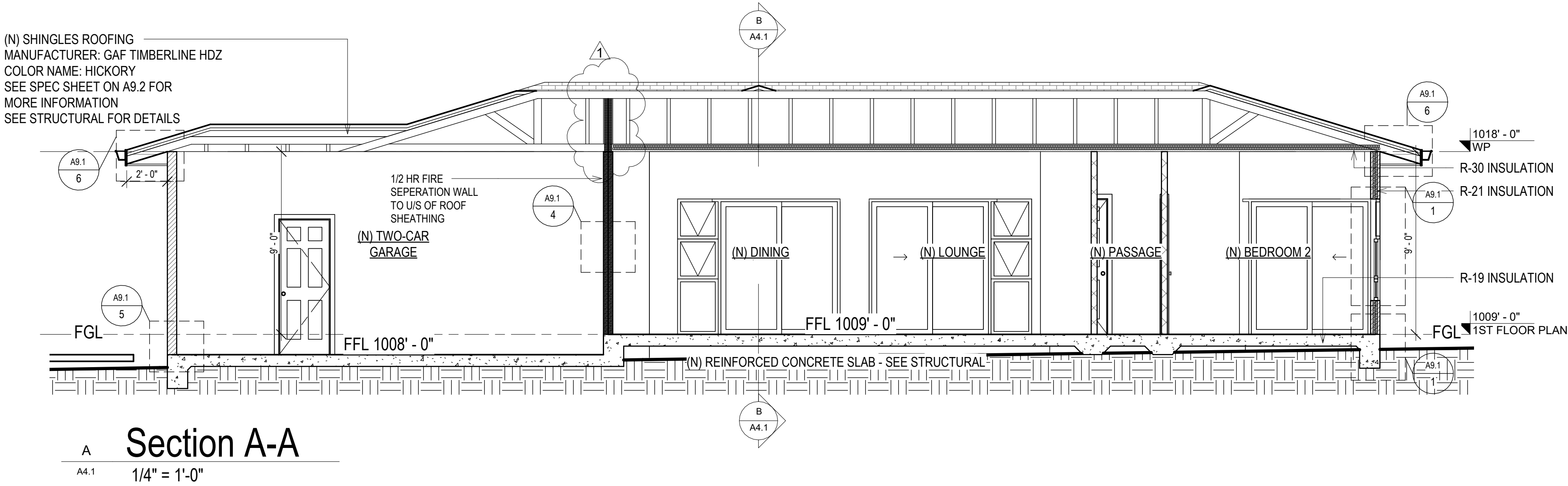
Eave Vents
NFVA = 23 in²
Qty = 16 Vents
Vent Area Provided = 16 x 23 in² = 368 in²

Total Vent Area Provided
(284 in²) + (368 in²) = 652 in² > 631 in²

- Provide 5/8" Type 'X' gypsum board on all walls and ceilings.
- Provide 5/8" Type 'X' gypsum board on all garage walls and ceilings - Separating habitable space
- Provide insulation to all exterior walls (R-15), floors above garage (R-19) and ceiling (R-30).
- Second floor with option 3/4" gypcrete over 5/8" plywood over joists
- Provide 1 layer of 5/8-inch type X gypsum sheathing applied, behind the exterior covering on the underside of the ceiling for the exposed underside of exterior porch.
- Roof to be Class A and to comply with CRC337.5.1

Section Notes

12" = 1'-0"



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HEDGEMON
PLANNING AND DEVELOPMENT

5000 Birch St, Suite 3000
Newport Beach, CA 92660
Ph: 949 444 2295 email: info@hedgemonpd.com

Project Address

22222 VAN BUREN ST,
GRAND TERRACE, CA,
92313

Client

LUIS MACIAS

Revision Schedule		
Revision Number	Revision Description	Revision Date
1	1st CITY COMMENTS	02-15-24

Title

SECTIONS

Project # 23/28

Date 09/16/24

Revision # 1

Scale As indicated

Drawing #

A4.1

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ARCH D

CONDITIONS OF APPROVAL

EXHIBIT C

CONDITIONS OF APPROVAL FOR SITE AND ARCHITECTURAL REVIEW 24-01 ADMINISTRATIVE SITE AND ARCHITECTURAL REVIEW 24-10

APPROVAL TO CONSTRUCT A NEW PRIMARY SINGLE FAMILY RESIDENCE, CONVERSION OF THE EXISTING RESIDENCE INTO AN ACCESSORY DWELLING UNIT, AND SITE IMPROVEMENTS AT THE SINGLE-FAMILY RESIDENTIAL PROPERTY LOCATED AT 22222 VAN BUREN STREET, APN: 1167-261-45-0000.

General:

1. All construction plans are required to be submitted to the Building & Safety Division for plan check, permit issuance, and payment of fees prior to commencement of demolition, grading, or construction activities.
2. If not appealed, this approval shall become effective on the eleventh (11th) day after the date of the Planning Commission's approval; or the next city business day following such eleventh (11th) day when the eleventh (11th) day is not a city business day. This approval shall expire twenty-four (24) months from the date of approval unless building permits have been issued and a substantial investment in reliance of those permits has occurred; all conditions of approval have been met; or a time extension has been granted by the City, in accordance with Chapter 18.63-Site and Architectural Review. Time extensions shall be filed at least sixty (60) days prior to the expiration date.
3. Within 24 hours of this approval of the subject Project, the Applicant shall deliver a payment of \$50.00 and (check should be made out to the Clerk of the Board of Supervisors) to enable the City to file the Notice of Exemption.
4. The Owner/Builder and the Owner/Builder's successors in interest shall be fully responsible for knowing and complying with all Conditions of Approval, including making known the Conditions to the City for future governmental permits or actions at 22222 Van Buren Street.
5. Construction shall be in substantial conformance with the plan(s) approved by the Planning Commission/Site and Architectural Review Board. Minor modification to the plan(s) shall be subject to approval by the Planning Director or their designee upon submittal of the required application(s) and fee(s). Any modification that exceeds 10% of the following allowable measurable design/site considerations shall require the refiling of the original application and a subsequent hearing by the appropriate hearing review authority if applicable:
 - a. On-site circulation and parking, loading and landscaping.
 - b. Placement and/or height of walls, fences and structures.

- c. Reconfiguration of architectural features, including colors and modification of finished materials that do not alter or compromise the previously approved theme; and
 - d. A reduction in density or intensity of a development project.
- 6. Minor modifications to this approval which are determined by the Planning Director or their designee to be in substantial conformance with the approved site plan, and which do not intensify or change the use or require any deviations from adopted standards, may be approved by the Planning Director or their designee upon submittal of the required application(s) and fee(s).
- 7. The Applicant shall indemnify, protect, defend, and hold harmless the City, and any agency or instrumentality thereof, and its officers, officials, employees, or agents thereof, from any and all claims, actions, suits, proceedings, or judgments against the City, or any agency or instrumentality thereof, and any officers, officials, employees, or agents thereof to attack, set aside, void, or annul, an approval of the City, or any agency or instrumentality thereof, advisory agency, appeal board, or legislative body, including actions approved by the voters of the City, concerning the Project and the approvals granted herein. Furthermore, the Applicant shall indemnify, protect, defend, and hold harmless the City, or any agency or instrumentality thereof, against any and all claims, actions, suits, proceedings, or judgments against another governmental entity in which the Applicant's Project is subject to that other governmental entity's approval and a condition of such approval is that the City indemnify and defend such governmental entity.

In the event that this approval is legally challenged, the City will promptly notify the Applicant of any claim or action and will cooperate fully in the defense of the matter. Once notified, the Applicant agrees to defend, indemnify, and hold harmless the City, their affiliate's officers, agents and employees from any claim, action or proceeding against the City of Grand Terrace. The Applicant further agrees to reimburse the City of any costs and attorneys' fees, which the City may be required by a court to pay as a result of such action, but such participation shall not relieve Applicant of his or her obligation under this condition.

- 8. The Owner/Builder shall be responsible for informing all subcontractors, consultants engineers, or other business entities providing services related to the Project of their responsibilities to comply with all pertinent requirements herein in the City of La Palma City Code, including the requirement that a Business License be obtained by all entities doing business in the City as well as noise and hours of operation requirements within the City.
- 9. This permit or approval is subject to all the applicable provisions of the Grand Terrace Municipal Code in effect at the time of approval, and includes development standards and requirements relating to: dust and dirt control during construction and grading activities; emission control of fumes, vapors, gases and other forms of air pollution; glare control; exterior lighting design and control; noise control; odor control; screening; signs, off-street parking and off-street loading; and, vibration control. Screening and sign regulations compliance are important considerations to the developer because they will delay the issuance of a Certificate of Occupancy until compliance is met. Any exterior

structural equipment, or utility transformers, boxes, ducts, or meter cabinets shall be architecturally screened by wall or structural element, blending with the building design and include landscaping when on the ground.

10. During construction of the site, the Project shall comply with Grand Terrace Municipal Code Section 8.108.040 (Special Activities) which prohibits construction activities between the hours of 8:00 p.m. to 7:00 a.m. Monday through Saturday, and no construction activity shall take place at any time on Sunday or national holidays.
11. Under no condition shall there be stockpiling of material prior to the issuance of the first grading permit and related condition of approval for the grading permit have been obtained.
12. Prior to the construction of perimeter fencing on shared property lines, the Applicant shall submit a Fence/Wall agreement signed by the adjacent property owners. As an alternative, the proposed wall and fences shall be constructed inside the Project's property lines.
13. The Applicant shall implement SCAQMD Rule 403 and standard construction practices during all operations capable of generating fugitive dust, which will include but not be limited to the use of best available control measures and reasonably available control measures such as:
 - a. Water active grading areas and staging areas at least twice daily as needed.
 - b. Ensure that all disturbed areas are treated to prevent erosion until the site is constructed upon.
 - c. Ensure that landscaped areas are installed as soon as possible to reduce the potential for wind erosion.
 - d. Suspend grading activities when wind gusts exceed 25 mph.
 - e. Sweep public paved roads if visible soil material is carried off-site.
 - f. Enforce on-site speed limits on unpaved surface to 15 mph.
 - g. Discontinue construction activities during Stage 1 smog episodes.

Comply with all applicable SCAQMD rules and regulations including Rules 402 nuisance which require the implementation of Best Available Control Measures (BACM) for each fugitive dust source; and the AQMP, which identifies Best Available Control Technologies (BACT) for area sources and point sources, respectively.

14. A building permit shall be required for the proposed development with compliance to the currently adopted California Building Codes and City of Grand Terrace Municipal Code.
15. All construction projects shall comply with the National Pollutant Discharge Elimination Systems (NPDES), and the San Bernardino County MS-4 Storm Water Permit.
16. Prior to building permit issuance, the applicant shall establish haul services for construction waste material with Burrtec to facilitate the recycling of all recoverable/recyclable material as required per the California Green Code and City of Grand Terrace Municipal Code. No self-hauling is allowed.
17. All Development Impact fees shall be paid to the City of Grand Terrace prior to the issuance of any building and/or construction permits. The Applicant shall pay all required development impact fees to cover 100 percent of the pro rata share of the estimated cost of public infrastructure, facilities, and services.

Project Specific Conditions

18. Site address to be assigned prior to building plan review.
19. The applicant shall submit a completed Construction & Demolition (C&D) Waste Diversion Program / Waste Management Plan (WMP) form along with the required C&D deposit based per square footage of construction and/or demolition prior to building permit issuance.
20. Main dwelling to be equipped with residential fire sprinklers, including any detached or attached accessory structures such as carports, sheds, garages, and patio covers built under type IV and V construction that exceed 200 square feet.
21. Installation of photovoltaic (PV) solar panels on the dwelling shall be required. Applicant shall submit a set of solar plans to the Building and Safety Department for review prior to building permit issuance.
22. Installation of conduit and other components to easily accommodate future installation of electric vehicle chargers shall be made at the site.
23. Main dwelling to be equipped with NFPA 13R residential fire sprinklers, including any detached or attached accessory structures such as carports, sheds, garages, and patio covers built under type IV and V construction that exceed 200 square feet.
24. Prior to issuance of any Building and/or Construction Permits, the Applicant shall submit to the Building & Safety Department proof of payment or waiver from both the City of San Bernardino for sewer capacity fees and Colton Unified School District for school impact fees.
25. An Onsite Improvement Plan shall be prepared by a California registered civil engineer and include a grading plan, erosion control plan, onsite water and sewer improvements, onsite storm drain improvements, and all necessary details for construction of the proposed improvements.
26. Survey Monumentation. If any activity on this project will disturb any land survey monumentation, including but not limited to vertical control points (benchmarks), said monumentation shall be located and referenced by or under the direction of licensed land surveyor or registered civil engineer authorized to practice land surveying prior to commencement of any activity with the potential to disturb said monumentation, and a corner record or record of survey of the references shall be filed with the County Surveyor pursuant to Section 8771(b) Business and Professions Code.
27. Record of Survey or Corner Record. Pursuant to Sections 8726(b) and/or 8773 of the Business and Professions Code, a Record of Survey or Corner Record shall be filed under any of the following circumstances:
 - a. Monuments set to mark property lines or corners;
 - b. Performance of a field survey to establish property boundary lines for the purposes of construction staking, establishing setback lines, writing legal descriptions, or for boundary establishment/mapping of the subject parcel;
 - c. Any other applicable circumstances pursuant to the Business and Professions Code that would necessitate filing of a Record of Survey.
28. Backflow preventers shall be installed for any building with the finished floor elevation below the rim elevation of the nearest upstream manhole (if applicable).

29. The required fire fees shall be paid to the San Bernardino County Fire Department/Community Safety Division.
30. Construct 8" curb & gutter 18' from street center line along property frontage per San Bernardino County standard 115 (or as approved by the City Engineer).
31. Construct the driveway approach per San Bernardino County standard 128.
32. Construct sidewalk along property frontage per San Bernardino County standard 109, type "C" (or as approved by the City Engineer).
33. The developer shall restore any public improvements damaged during construction.
34. Pavement restoration and trench repair for any street cuts shall be in conformance with San Bernardino County standards or as approved by the City Engineer.
35. Permission to occupy or use the building (Certification of Occupancy or Shell Release) will not be granted until the Fire Department inspects, approves, and signs off on the Building and Safety job card for "fire final".
36. The above referenced project is under the jurisdiction of the San Bernardino County Fire Department herein "Fire Department". Prior to any construction occurring on any parcel, the applicant shall contact the Fire Department for verification of current fire protection requirements. All new construction shall comply with the current California Fire Code requirements and all applicable statutes, codes, ordinances, and standards of the Fire Department.
37. Residential Addressing. The street address shall be installed on the building with numbers that are a minimum of four (4) inches in height and with a one half (½) inch stroke. The address shall be visible from the street. During the hours of darkness, the numbers shall be internally and electrically illuminated with a low voltage power source. Numbers shall contrast with their background and be legible from the street. Where the building is one hundred (100) feet or more from the roadway, the street address shall be displayed at the property entrances with numbers that are a minimum of four (4) inches in height and one half (½) inch stroke.
38. The applicant shall submit a letter to the Fire Department agreeing and committing to installation of a fire protection system prior to the building inspection for drywall and insulation.
39. An automatic life safety fire sprinkler system complying with NFPA Pamphlet #13D and Fire Department standards is required. The applicant shall hire a licensed fire sprinkler contractor or be an approved owner/builder. The fire sprinkler contractor/installer shall submit plans with hydraulic calculations and manufacture's specification sheets to the Fire Department for approval. The required fees shall be paid at the time of plan submittal. Minimum water supply shall be in accordance with current fire department standards. The applicant or contractor shall contact their local water purveyor to obtain specifications on installing a residential fire sprinkler system within the jurisdiction of the water purveyor. The applicant shall attach a letter from the water purveyor indicating the types of systems allowed in that jurisdiction.
40. The detached accessory dwelling unit conversion must be completed prior to issuance of Certificate of Occupancy for the new primary single-family home.
41. Upon approval of these conditions and prior to becoming final and binding, the applicant must sign and return an "Acceptance of Conditions" form. The form and content shall be prepared by the Community Development Department. The entitlements shall expire

and become null and void if the "Acceptance of Conditions" is not signed and returned within one (1) year from the date of approval.

City of Colton Water & Wastewater Project Specific Conditions

42. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT EDITION OF THE SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREEN BOOK), AND THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF COLTON WATER/WASTEWATER DEPARTMENT.
43. ALL WATER AND WASTEWATER CAPACITY FEES MUST BE PAID PRIOR TO OBTAINING THE CERTIFICATE OF OCCUPANCY.
44. OWNER MUST SUBMIT GRADING PLAN SHOWING ALL THE PROPOSED WATER AND SEWER CONNECTIONS.
45. IT IS REQUIRED TO HAVE A SEPARATE SEWER UTILITY SERVICE AND ACCOUNT FOR THE MAIN HOUSE AND ADU WITH A DIFFERENT ADDRESS.
46. ANY PERMANENT VERTICAL STRUCTURES ARE NOT ALLOWED WITHIN THE EXISTING EASEMENT.

Acceptance of Conditions

This approval is not effective until this form is signed and returned to the Community Development Department of the City of Grand Terrace.

Signatures:

Ethan Namvar (Applicant)

Luis Macias (Owner)

Date

Date



CITY OF GRAND TERRACE
NOTICE OF EXEMPTION

TO: Clerk of the Board of Supervisors
County of San Bernardino
385 N. Arrowhead Avenue, 2nd Floor
San Bernardino, CA 92415-0130

FROM: Planning and Development
Services Department
City of Grand Terrace
22795 Barton Road
Grand Terrace, CA 92313

Project Title: Site and Architectural Review 24-01, Administrative Site and Architectural Review 24-10, and Environmental Review 24-01

Project Location – Specific: The project is located at 22222 Van Buren Street, Grand Terrace CA, 92313, (APN: 1167-261-45-0000).

Description of Project: to construct a new one-story, approximately 2,025 square foot single-family primary residence and site improvements at 22222 Van Buren Street (APN: 1167-261-45-0000) with a conversion of the existing home into an accessory dwelling unit.

Name of Public Agency Approving Project: Grand Terrace Planning Commission/Site and Architectural Review Board

Name of Person or Agency Carrying out Project: Ethan Namvar ("Applicant") representing Luis Macias ("Property Owner"), 949-424-2174 / ethan@centricityfinancial.com

Exempt Status: California Code of Regulations, Title 14, Section 15303(a) Class 3 (New Construction or Conversion of Small Structures).

Reasons Why Project is Exempt: The new primary single-family home and conversion of existing home into an accessory dwelling unit was determined by the City of Grand Terrace, as Lead Agency, under Environmental Review 24-01 (ENV 24-01) to not be subject to the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303(a) Class 3 (New Construction or Conversion of Small Structures). Class 3 consists of construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. Examples of this exemption include but are not limited to: (One single-family residence, or a second dwelling unit in a residential zone.

Lead Agency or Contact Person:

Area Code/Telephone

(909) 954-5176

Shutter@grandterrace-ca.gov

Scott Hutter
Planning Director

Date